



52  
12  
BROADWAY

CALIFORNIA COLLEGE OF THE ARTS  
OAKLAND CAMPUS SITE

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# DESIGN GUIDELINES

Admin Draft 2 | October 2022

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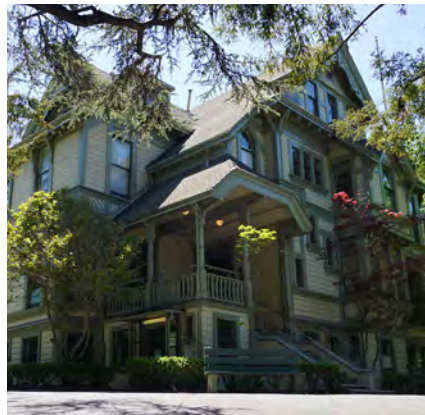
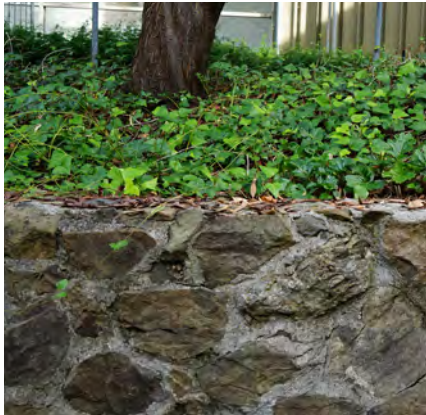
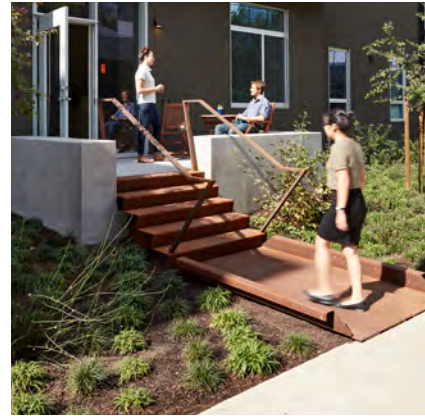
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# 1 VISION

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# OVERVIEW

This document guides redevelopment of the former California College of the Arts – Oakland Campus (CCA) at 5212 Broadway, under a Planned Unit Development Permit (PUD) PLN20141.

The redevelopment proposes to transform the 3.9-acre arts campus into a mixed-use development with new housing and publicly-accessible open space for the Rockridge community, while evolving the site's historic significance into the next phase. This includes retention of two Landmark status buildings as commercial uses; maintaining existing open spaces and site organization of the district; and replacing ten of the twelve existing buildings with new multi-family residential buildings that allow for 510 units, parking, and commercial use along Broadway.

The existing campus is an historic resource, eligible as a District for listing on the California Register of Historic places and on the City of Oakland Local Register as an Area of Primary Importance (API). In addition, four of the twelve buildings on the campus are individually eligible for listing on the California Register of Historic Places.

The historic status of the exiting campus triggers a high standard of review to allow the proposed demolition under the City's review process. These guidelines were requested by the City to provide documentation to demonstrate the redevelopment addresses the historic status of existing development, the neighborhood context, and the quality of the replacement project. This document articulates elements of and response to the site's history and context; and, if implemented, could allow the PUD project to meet the intent of the City's design review process.



**Figure 1.1:** Predominant layers of influence at 5212 Broadway. Source: Emerald Fund (Left). CCA Libraries (Right)



## 1.1 Background + Influences

The site is located at the entry to the Rockridge neighborhood in North Oakland where Broadway and College Avenue meet. The site is bound by Broadway to the west, Clifton Street to the north, multi-family residential to the east, and an access road to nearby regional shopping center alongside steeply sloped terrain to the south.

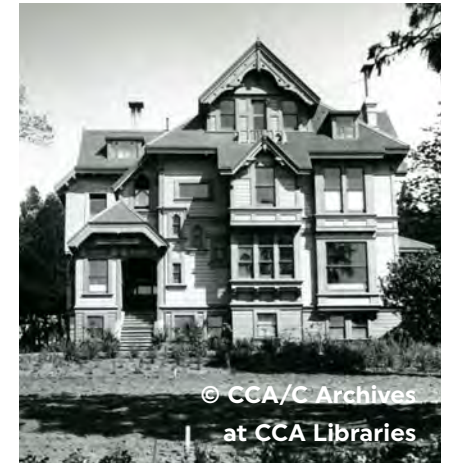
The site's history is well documented in the Historic Resources Evaluation (HRE), prepared by Page & Turnbull and issued in November of 2019 for the Oakland Planning & Building Department. This HRE documents two periods of historic significance, The Early Estate Period and the California College of the Arts Period, each notable in its lasting impact on the site's landscape and architecture.

The following sections summarize the influences from the site's history and context that served as a foundation for the Guidelines:

- **HISTORY:** Early Estate Period and California College of the Arts Period
- **CONTEXT:** Commercial Corridor and Rockridge Neighborhood

### HISTORY: EARLY ESTATE PERIOD (1879-1922)

During the Early Estate Period the site was used as a residential estate and resulted in the construction of the private residence, Macky Hall (previously Hale House, Treadwell Mansion, and Treadwell Hall), its associated Carriage House, Eucalyptus Row, Carnegie Bricks, and the Broadway Wall and Stairs. Macky Hall and Carriage House (c. 1879-1881) were both found by the HRE to extend across the two eras of significance of the site—including their noteworthy architectural style and association with education. Macky Hall, Carriage House, the Broadway Wall, and the Carnegie Bricks continue to the present day, as well as an 80-foot Wide View Corridor aligned from Macky Hall to Broadway. As documented in the HRE, the Eucalyptus Row is partially existing.



Photograph taken 1927

**Figure 1.2:** Macky Hall



Photograph taken 1926

**Figure 1.3:** Carriage House

## HISTORY: CALIFORNIA COLLEGE OF THE ARTS PERIOD (1922-1992)

The California College of the Arts Period followed, during which time the California College of Arts and Crafts (later known as California College of the Arts) taught generations of creative students and became a steward of architecture, exemplifying craft. The Early Estate Period's residential buildings and landscape features were repurposed during the California College of the Arts Period from a private residence to a functioning campus with classrooms, studios, and offices for arts education and a landscape that displayed art from its students, faculty, and alumni. As enrollment grew over the following decades, each new purpose-built studio space added was exemplar of various architectural styles of the time. Landscape features such as

sculptures and defined open spaces such as Macky Lawn, layered in large-growth trees provided an idiosyncratic landscape. The juxtaposition of architecture at varying elevations and a circulation network of meandering paths through large trees, sculptures, topography change, and purpose-built buildings defined the campus. The contributing features of the campus outlined in the HRE continue to this present day.

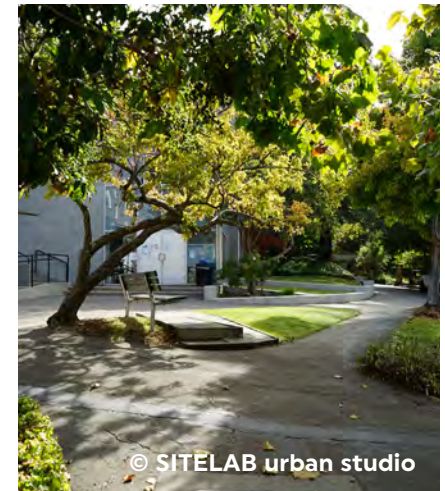


Figure 1.4: Themes of campus identity



## SIGNIFICANCE OF HISTORIC RESOURCES

Four distinct identifications pertain to the extant campus and its historic resources:

- (1) the site is an Area of Primary Importance (API)
- (2) the campus is an eligible California Register District
- (3) four individual buildings are California Register eligible
- (4) the Treadwell Estate buildings listed on the National Register and along with contributing landscape features are an Oakland Landmark

(1) The site was identified as an API during the Oakland Cultural Heritage Survey of 1986, based on associated events that have made a significant historical contribution: particularly for the role of the campus in development of

art and education, specifically of the American Arts and Craft Movement, in California and the West Coast, which produced graduates who became professionals in the Bay Area; and, for its physical embodiment of the principles of design in the spaces occupied by its students and faculty. The physical character-defining features of the campus are further defined Section 1.2 and include the siting of "inward-facing purpose-built" buildings of varying styles, materials, and elevations lining the north and east of the campus, meandering pathways through long-standing trees, sloped topography, and a display of art. All twelve extant buildings, as well as the following historic landscape features contribute to the API and the (2) California Register District eligibility: Faun Sculpture, Macky Lawn, Stairs with Ceramic Pots, Infinite Faith, Bell Tower, Celebration Pole.

(3) Four individual buildings from the California College of the Arts Period are eligible for listing on the California Register of Historic Places. These buildings include Founders Hall, Martinez Hall, Noni Eccles Treadwell Ceramics Arts Studio, and Barclay Simpson Sculpture Studio.

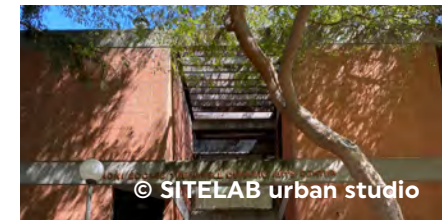
(4) Macky Hall and Carriage House were listed on the National Register of Historic Places in August 1977 (Reference #77000286) and Class 1 and Class 2 Landmarks, respectfully. The Broadway Wall & Stairs, Eucalyptus Row, Carnegie Bricks, and Macky Hall View Corridor contribute to the Landmark identification.



Founders Hall



Martinez Hall



Noni Eccles Treadwell Ceramics Arts Studio



Barclay Simpson Sculpture Studio

**Figure 1.5:** Buildings individually eligible for California Register

## CONTEXT: COMMERCIAL CORRIDOR

Broadway and College Avenue, which converge adjacent to the site, are important commercial corridors connecting Oakland and Berkeley—from Jack London Square to the University of California at Berkeley. The site is a transitional site in North Oakland, where increased density and larger blocks to the south on Broadway meet smaller scale commercial development along College Avenue and low-scale residential blocks in Rockridge.

The City of Oakland's Design Guidelines for Corridors and Commercial Areas adopted in July 2013 provides guiding principles for design on key corridors of Oakland. As defined, Primary Corridors are wider and more urban in character whereas Secondary Corridors have less dense character.

Broadway is a Secondary Corridor at the site and a major thoroughfare in Oakland. Broadway is primarily a vehicular corridor south of the site with larger lots. More recent development near the site occupies full blocks of up to 300 feet in length, but typical lot widths range from 50 to 80 feet. Broadway narrows north of the site with more residential uses on either side of the street.

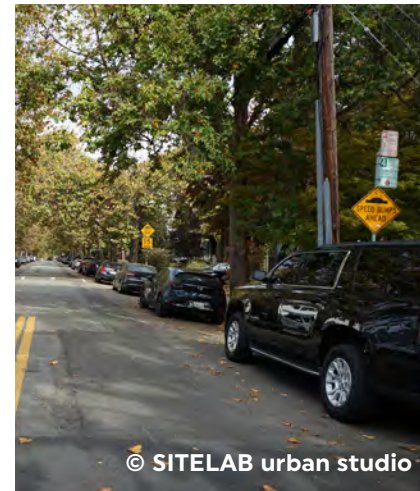
College Avenue, also a Secondary Corridor, is predominantly a retail street with limited setbacks that encourage pedestrian activity along sidewalks and parklets. The rhythm between storefronts is more intimate, holding 25- to 45-foot typical lot widths. The street extends from the University of California, Berkeley campus to the site where it intersects with Broadway.



College Avenue



College Avenue



Residential Rockridge street



Broadway, north of the Property

**Figure 1.6:** Corridors and streets in Rockridge



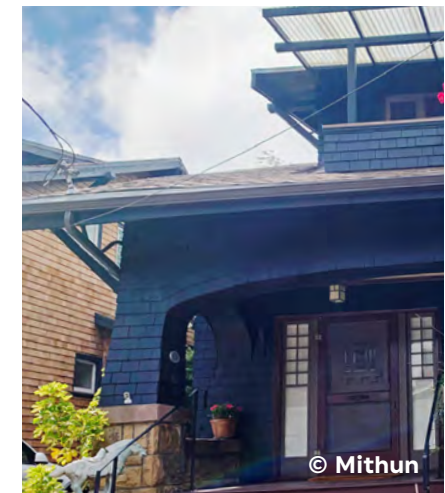
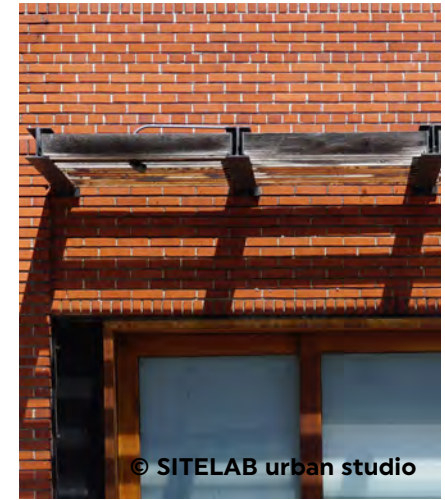
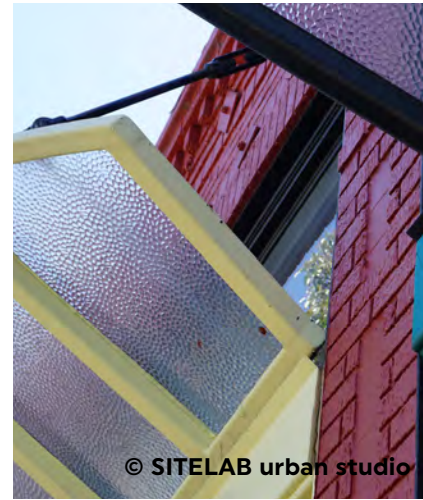
## CONTEXT: ROCKRIDGE NEIGHBORHOOD

The Rockridge neighborhood is more than one style of architecture or one main street—it is a welcoming and inviting community framed by buildings and spaces that exude individuality, detail, and thoughtful transitions from lot to lot and street to street.

An assortment of textures, styles, colors, and articulated rooflines provide storefront variety along College Avenue that bring a distinctive character to the neighborhood, provide rhythm to the blocks, and engage with the pedestrian at the street. Corner stores and residential buildings have prominent and defined bases, with historic architectural features such as projections, recesses, and bays reflective of various styles prevalent in the area between the late 19th century through today. The fabric of the single-family

homes from the early 20th century of Craftsman and Bungalow style brings human-scale proportions and points of social interaction between the sidewalk and a neighbor's stoops and porches.

The walkable neighborhood celebrates details and individuality—where materials, grain, plantings, and shadow lines created through vined-trellises, balconies, and articulated rooflines. The Rockridge neighborhood is eccentric—featuring gardens, murals, and signs, each with its own unique quality. Throughout the neighborhood, the sloping topography frames view corridors and the site's prominence as it meets the edge of the neighborhood and climbs the hillside.



**Figure 1.7:** Details and craft in Rockridge architecture

## 1.2 Design Response to Historic and Context

The design guidelines in this document are intended to respond to the historic physical qualities —of the campus and estate—and the contextual qualities of the adjacent corridors and Rockridge neighborhood.

Site walks, context analysis, and meetings with stakeholder groups provides the basis for the contextual elements of the Rockridge neighborhood and the Broadway and College Avenue corridors. The HRE provides the basis for the elements of the campus and the elements of Treadwell Estate.

The guidelines are organized into two chapters, Buildings Design Guidelines and Open Space Design Guidelines and further described in this section.

The chapters include guidelines for both the retention and rehabilitation of historic resources as well as direction for how new buildings and open space relate to the historic elements and the contextual character of the site. Guidance for the retention and rehabilitation of the following historic resources are identified within each chapter:

- Landmark buildings contributing to the API and Treadwell Estate: Macky Hall and Carriage House
- API contributing historic landscape features: Macky Lawn, Stairs with Ceramic Pots, Faun Sculpture, Infinite Faith sculpture, Bell Tower, and Celebration Pole
- Treadwell Estate contributing historic landscape features: Broadway Wall and Stairs, Carnegie Bricks, and the Macky Hall View Corridor

### CHAPTER SUMMARIES

- **CHAPTER 2 BUILDINGS**

**DESIGN GUIDELINES:** The guidelines in this chapter are divided into two sections: (1) Rehabilitated Historic Building that provides guidance on the rehabilitation and treatment of Macky Hall and Carriage House; and (2) New Construction Buildings that provides guidance for new building response to context, embodiment of the character-defining features of the API and Treadwell Estate, and compatibility with rehabilitated landmark buildings.

Guidelines in the New Building Design section are organized from large scale building form and massing to building base and ground floor relationships to small scale grain of composition and facade treatment.

- **CHAPTER 3 OPEN SPACE**

**DESIGN GUIDELINES:** This chapter similarly has two sections: (1) Contributing + Retained Landscape Features that provides guidelines for maintaining and rehabilitating contributing historic landscape features of the Campus and Treadwell Estate and the setting for rehabilitated landmark buildings; and (2) Open Space Elements that defines character, programming, and design considerations of open space to respond to both context and historic significance of the site in its next evolution as a new type of campus.

- **CHAPTER 4 IMPLEMENTATION**

**CHECKLIST:** This chapter aids in the conformance review of the proposed design and is organized by Design Review Findings.



## SUMMARY OF DESIGN RESPONSE TO HISTORIC AND CONTEXTUAL ELEMENTS

The following list summarizes key design responses to the historic resources and the context to create the basis for the Design Review Findings.

### CCA CAMPUS:

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#### 1. Siting of new construction within similar footprints and site coverage of the California College of the Arts Period campus, such as:

- New construction takes place on north and east side of the site, leaving surrounding area predominantly landscaped
- Vehicular access is limited to along Clifton, similar to the California College of the Arts Period vehicular access
- Macky Hall is rehabilitated within its existing footprint and Carriage House is sited in similar orientation, separation and elevation from Macky Hall, and setting as during California College of the Arts Period in keeping with Secretary of the Interior's Standards
- In the event California College of the Arts Period buildings are rehabilitated, their location, siting, and setting are protected

#### 2. Orientation of new construction inward toward Macky Hall and Macky Lawn as the center of the site, similar to the existing California College of the Arts Period campus orientation, such as:

- Primary pedestrian paths guiding from Broadway and the northeast pedestrian entrance towards Macky Hall and Macky Lawn that remain at the center of the site
- New building ground floor and mid-rise rhythms reference California College of the Arts Period buildings at facades facing the center of the site

#### 3. New construction demonstrates differentiation and spatial relationships as seen in existing buildings, such as:

- Differentiation between new buildings through material, color, or fenestration rhythm, depth, or orientation
- New construction is setback from Macky Hall and Carriage House similar to their relationship to California College of the Arts Period buildings
- New construction must maintain a similar separation between buildings as seen with the California College of the Arts Period campus
- Maintaining various finished floor and entry elevations on sloped topography limiting blank facades in keeping with

the existing campus

- Height variation at preferred height locations, mid-rise setbacks along the Neighborhood Paseo, and stepbacks to respond to adjacencies
- Height reductions surrounding Macky Hall consistent with the scale and relationship of California College of the Arts Period buildings

#### 4. New construction demonstrates a similar design quality to the twelve existing buildings and landmark buildings retain their design quality, such as:

- Massing adjacent to Macky Hall reference its width and frame the landmark building as the primary building on site
- Rehabilitation the exterior and interior architectural designs of Macky Hall and Carriage House to the Secretary of Interior's Standards
- While maintaining unity, mid-rise facade articulation, subdivided mid-rise volumes, and stepbacks adjacent to historic resources address similar qualities and scale of existing buildings.

- New building elevations create defined building bases similar to the one-to-two story existing buildings through change in planes, horizontal elements, or material change
- Fenestration composition is organized in linear grids consistent with the modernist architecture of the California College of the Arts Period architecture
- Openings of increased depth to accentuate building details and generate stronger shadow lines consistent with existing buildings
- The preferred facade material palette references California College of the Arts Period architecture
- Exposed structural elements and material transitions accentuate design quality and the beauty in construction assembly, similar to the California College of the Arts Period architecture

#### 5. Retaining and rehabilitating contributing landscape features (Macky Lawn, Stairs with Ceramic Pots, Faun Sculpture, Infinite Faith sculpture, Bell Tower, and Celebration Pole), such as:

## CCA CAMPUS (CONTINUED):

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- Maintaining its slope, planting characteristics, and size of Macky Lawn
- Additional retained art and artifacts within the open space are to be sited in a familiar context to their setting as sited in the existing California College of the Arts landscape

### 6. Providing meandering, informal network of circulation routes through the site similar to the existing California College of the Arts Period campus, with improved pedestrian accessibility, such as:

- Secondary pedestrian paths provide alternate routes through the site allowing the discovery of existing buildings, vistas, and contributing landscape features similar to the California College of the Arts Period campus
- A variety of elevations for building entries across the site will be maintained consistent with the various levels of building access in the campus

### 7. Characteristics of the existing campus landscape are retained through:

- Retaining long standing heritage trees that contribute to the framing of Macky Hall, Macky Lawn, and View Corridor
- Preserve, protect and expand native heritage trees and planting palette present in the existing landscape
- Retain scale, orientation, views, materials, and programmatic components of the existing campus

### 8. Honor the art and education that took place during the California College of the Arts Period and removed buildings of the campus through commemoration and the reinterpretation of physical characteristics:

- Retention and rehabilitation of additional art and artifacts
- Integrate murals and artwork on facades facing the open spaces
- Commemorate the architecture of the period by representing building footprints and salvaged architectural elements in the landscape, signage, or new building designs
- Commemorate site histories through installations and signage

## TREADWELL ESTATE:

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### 1. Retaining and rehabilitation the exterior and interior architectural design of Macky Hall and Carriage House to the Secretary of Interior's Standards:

- By way of design, materials, and workmanship
- Macky Hall remains the primary historic resource on site through the siting of Carriage House and new construction response to Macky Hall
- Carriage House maintains a subsidiary relationship with Macky Hall through its spatial relationship to and similar finished floor elevation of or below Macky Hall

### 2. New construction provides height reductions, setbacks, and reference landmark building width to transition to Macky Hall and Carriage House and contributing landscape features, such as:

- Height reductions surrounding Macky Hall
- New construction setback from Macky Hall and Carriage House similar to their relationship to contributing buildings

- Massing adjacent to Macky Hall reference its width and frame the landmark building as the primary building on site
- Setback and rhythm requirements for the new building adjacent to the Broadway Wall

### 3. Retaining and rehabilitating contributing landscape features (Broadway Wall & Stairs, Carnegie Bricks, and Macky Hall View Corridor), such as:

- Retaining the entire length of Broadway Wall as the western boundary of the site with limited modifications and new construction setback from the wall
- Retaining Broadway Stairs (and additional accessible entrance) as the primary entrance to the site
- Macky Hall View Corridor to be maintained through planting and programming
- Carnegie Bricks to be sited in a familiar context to their setting within the campus
- Commemorate site history and any alterations made to Broadway Wall & Stairs



## **BROADWAY / COLLEGE AVENUE AND ROCKRIDGE NEIGHBORHOOD:**

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### **1. New construction provides building base rhythm similar to College Avenue and continues active uses along Broadway:**

- Reduce perceived scale of bulk and massing in mid-rise volumes and design facades to reflect widths of nearby residential mid-rise buildings
- Uses horizontal elements along Broadway and Clifton Street in response to lower scale context and articulates a rhythm that is responsive to pedestrian activity similar to College Avenue
- Continue streetwall on Broadway and Clifton Street corner with limited setbacks
- Continue ground floor commercial activity along Broadway near College Avenue

### **2. The site as a green terminus at the intersection of Broadway and College Ave remains and becomes a community asset through:**

- The Broadway Wall remains the primary edge but an accessible entry and dense planting at the southwest corner invites access by the community

- Network of open spaces and meandering paths contributing to the existing campus's "landscape of discovery"

### **3. New construction demonstrates similar design characteristics throughout the hills of East Bay:**

- Building height steps with the topography
- Provides various finished floor and entry elevations on sloped topography across the site
- Building separation and upper level setbacks to increase daylight access within the public realm
- Preserve, protect and expand native heritage trees and planting palette present in Rockridge
- Emphasize the prominent location and siting of new buildings in the East Bay hills given their location and siting by incorporating vertical volumes in highly visible locations will accentuate the important setting of the campus
- Using the sloped topography to frame vistas from the publicly-accessible open space through planting and circulation routes

### **4. Transitions to context are expressed in new construction through upper level setbacks, facade rhythm, and residential stoops:**

- Reducing perceived height near neighboring buildings through upper floor setbacks and trellises
- Articulated rhythm of ground floor and mid-rise facades relate to rhythm and scale along College Ave and Broadway Terrace
- Residential stoops and horizontal elements at ground level transitions
- Encourage building entrances along streets and open spaces

### **5. Enhanced open depths reference Rockridge architecture:**

- Layered in tactile material application (wood decorative metal, ceramic tile, and textured concrete) at ground floor levels
- Limit the scale of glazing and ensure depth of openings is provided to avoid flat facades

# HOW TO USE

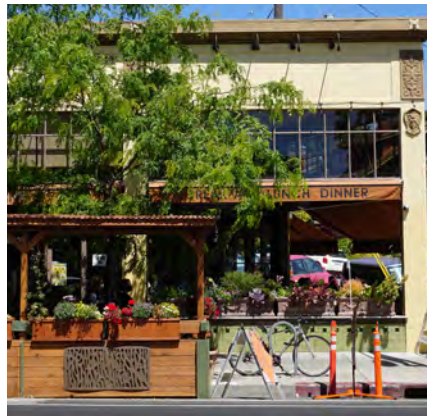
## 1.3 Applicability

This document will focus on how the redevelopment of the site relates to the history of the site and the context of the Rockridge neighborhood and Broadway and College Avenue Corridors. 5212 Broadway Design Guidelines provide specific requirements and recommendations for the design of buildings and open spaces within the site, consistent with the goals and intent set forth by the City of Oakland's Planning Code. 5212 Broadway Design Guidelines provide supplementary guidance for the design of site planning, open space, and buildings on the site, proposed through the PUD application (PLN20141). Subsequent Final Development Plan(s) (FDP) must provide design detail of the proposed buildings, landscape, and infrastructure in compliance with 5212 Broadway Design Guidelines. These plans will illustrate how design guidelines are met or how creative alternatives will satisfy the intent of guidelines. However, this document is not intended to restrict innovation, creativity, nor variety in design. Applicants may submit design proposals that deviate from the guidelines but must offer clear explanations that proposed solutions meet the intent, thereby meeting the applicable guideline.





**5212 Broadway Buildings:** Early Estate Period and California College of the Arts Period architecture, and aspirational characteristics from buildings in Rockridge.



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# 2

# BUILDINGS DESIGN GUIDELINES

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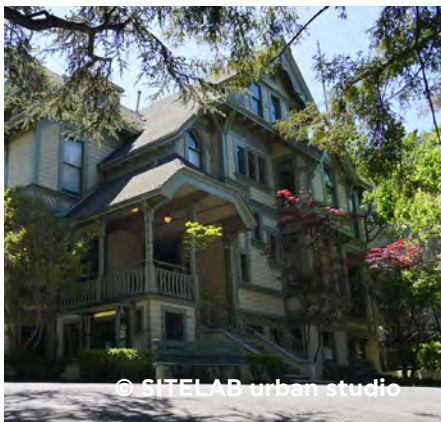
# REHABILITATED LANDMARK BUILDINGS

Of the 12 existing buildings of the California College of the Arts (CCA), two—Macky Hall and Carriage House—are listed on the National Register and are designated Oakland Landmarks, while also contributing to the campus as an Area of Primary Importance (API).

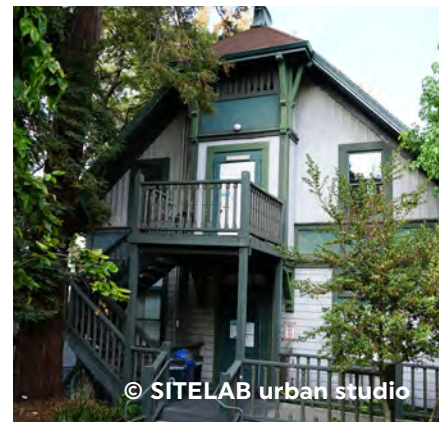
Macky Hall—originally constructed as a residence in the Early Estate Period—has been repurposed for classroom uses and later adapted as the central administrative office for CCA. The Carriage House is an ancillary building to Macky Hall, serving as the storage structure for horses and carriages during the Early Estate Period. As was noted in the 1977 National Register nomination, the Carriage House was relocated and renovated three times during the California College of the Arts Period to make space for new buildings—and its carriage entrance (see Figure 2.7) was also removed when it was converted into a studio space. Refer to Figure 2.3 for locations of the Carriage House throughout its history.

The guidelines in this section pertain to the retention and treatment of these two landmark buildings. Rehabilitation of the two buildings will conform with the Secretary of the Interior's Standards for Rehabilitation. Changes are limited to mandatory measures for code and accessibility, with new programs tailored to the historic character of the retained buildings rather than adapting the retained buildings to meet the needs of new programs.

Refer to Section 2.5 for further guidelines regarding the new construction's response to Macky Hall and Carriage House. Refer to Section 3.4 for further guidelines regarding open space relationship with Macky Hall and Carriage House.



**Figure 2.1:** Macky Hall from California College of the Arts Period, circa 2020 (left) and 1927 (right)

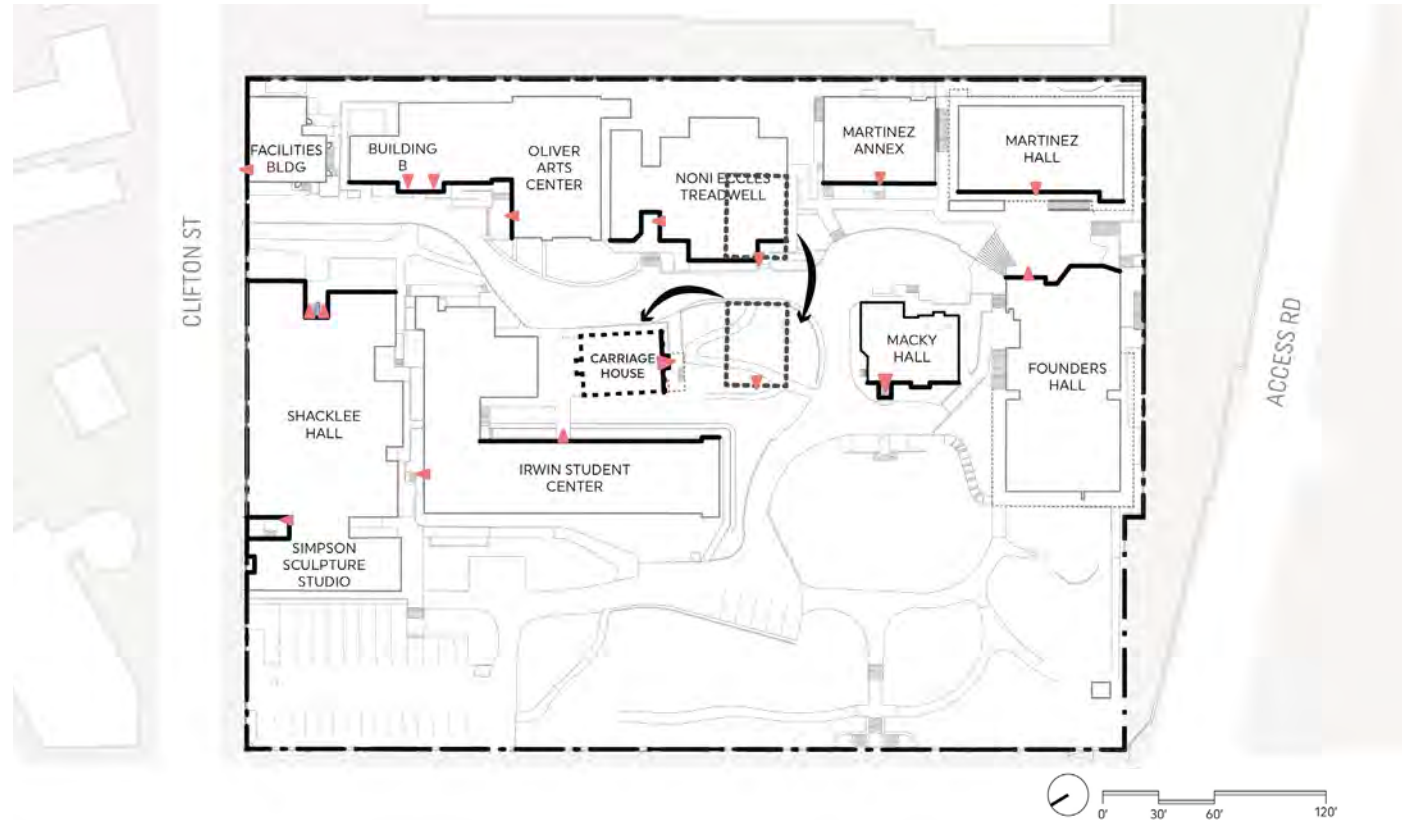


**Figure 2.2:** Carriage House from California College of the Arts Period, circa 2020 (left) and 1973 (right)




## 2.1 Location and Setting of Landmark Buildings

**2.1.1 MACKY HALL LOCATION.** To maintain the historic significance and integrity of Macky Hall's location, Macky Hall is to be maintained in its current location and on its existing footprint, as recorded in the HRE and as listed on the National Register.

**2.1.2 CARRIAGE HOUSE RELOCATION.** Carriage House shall be permitted to be relocated so long as the move does not interfere with its status as a contributor to the National Register site per Criteria Consideration B by maintaining "compatibility in orientation, setting, and general environment" with the Early Estate Period and California College of the Arts



**Figure 2.3:** Locations of California College of the Arts Period relocation of Carriage House

-  Site boundary
-  Primary building elevation
-  Primary entrance

Period. Required conditions of relocation include each of the following categories, focused on maintaining the Carriage House's subsidiary relationship to Macky Hall:

- Orientation: If relocated, the Carriage House should be oriented in either its Early Estate Period or California College of the Arts Period alignment, with the primary entrance facing south or west.
- Location: Carriage House shall maintain horizontal separation to Macky Hall of no less than 40 feet and no greater than 120 feet. Carriage House shall not be permitted within the Macky Hall View Corridor (see Section 2.3).

- Elevation: If Carriage House is located further east from its HRE-identified location—approximately aligned with the primary elevation of Macky Hall—the ground floor of Carriage House shall be lower than the finished floor elevation of the main level of Macky Hall. If located further west from the HRE-identified location, the finished floor elevation of the ground floor of Carriage House shall be lower than the finished floor elevation of the basement level of Macky Hall.
- Setting: If relocated, Carriage House shall avoid referencing other historic conditions and must avoid creating a false historic setting

reference. If relocated where a California College of the Arts Period building has been removed, the site design should emphasize a relationship to the historic conditions of the Carriage House rather than the historic building footprint of the removed structure. As an example, if relocated to the former footprint of Founders Hall, reference to the Founders Hall footprint should be avoided to limit confusion. Additionally, there should be a clear visual separation between the Carriage House and new buildings on Building B, which may be created through landscape design strategies such as

a planted buffer or change in topography. If the Carriage House is located further west than Macky Hall, the Carriage House should be screened from prominent visibility from Broadway; this can be accomplished with light vegetation. For landscape and planting guidelines adjacent to Carriage House, refer to Section 3.4.

### 2.1.3

#### **CARRIAGE HOUSE STRUCTURAL IMPROVEMENTS**

**FOR RELOCATION.** If relocating, structural upgrades shall be allowed to ensure stability before, during, and after the relocation process. The exterior appearance may not be altered in any structural improvements, refer to Guideline 2.3.4.



## 2.2 Landmark Building Access

**2.2.1 MACKY HALL PRIMARY ACCESS.** The west porch at Macky Hall has been the historical primary entrance. As such, the entrance at the west elevation shall remain operable, even if it is not the primary entrance, with interior access to the main ground floor space. It shall not be permanently closed or partitioned off on the interior. The porch on the east side—which has been altered in the past and is now the accessible entry— may only be changed to accommodate building occupancy or code requirements. Refer to Figure 2.4 for the primary access to Macky Hall.

**2.2.2 CARRIAGE HOUSE CODE MODIFICATIONS.** Modifications for ADA access to Carriage House and its second level shall be permitted, as the current stairway is not original to the structure and does not contribute to its significance. Where exterior circulation elements such as stairs, ramps, or elevators are added, they should be designed simply and should generally be protected from views such as seen from Macky Lawn and the primary entrance to Macky Hall. Modification to add an accessible restroom to the first level shall be permitted. If an exterior circulation addition has an elevator or other visually significant element, that addition shall not be conspicuous

from Macky Hall and the Macky Lawn and should not require alterations to the exterior design of the Carriage House, see Guideline 2.3.4.



**Figure 2.4:** West porch (historical primary entrance) (above) and east porch to Macky Hall (below)

## 2.3 Design, Materials, + Workmanship of Landmark Buildings

**2.3.1 MACKY HALL DESIGN, MATERIALS, AND WORKMANSHIP.** During permitted exterior modifications, the design, materials, and workmanship of Macky Hall shall be maintained as recorded in the HRE and the National Register according to Secretary of the Interior's Standards. Strategies include, but are not limited to:

- Repairing features and materials that can feasibly be retained (Instead of replacing them)
- Using the same or in-kind materials, colors, and textures
- Maintaining fenestration patterns and style
- Maintaining siding and trim

- Continuing the use of the vernacular or associated architectural style of Macky Hall. Refer to Figure 2.5 for aspects of craft.

**2.3.2 MACKY HALL WINDOWS.** The windows of Macky Hall may be reglazed if an energy analysis of the building shows that alternative measures would be less effective in reducing energy use. If greater energy or sound performance is needed, the addition of a second interior sash may be added if it aligns with the existing frame and glazing while remaining visually secondary to character-defining features.

**2.3.3 MACKY HALL EXTERIOR PAINT.** Color schemes may be based on historical analysis of

Multi-gabled roofline  
Scalloped shingles

Curved brackets

Double hung wood sash windows

Horizontal wood siding

Wood detailing

Bay window



**Figure 2.5:** Character-defining features of Macky Hall



**Figure 2.6:** Carriage House during early California College of the Arts Period



**Figure 2.7:** Carriage House original opening on east facade

the building by a paint conservator. The existing color scheme may be retained without study.

**2.3.4 CARRIAGE HOUSE DESIGN, MATERIALS, WORKMANSHIP.** The following building elements of the Carriage House shall not be altered in the site nor any relocation of the Carriage House:

- Exterior walls and roof
- Facade composition except for new openings per Guideline 2.3.5
- Architectural details such as siding, brackets, and trim, as shown in Figure 2.5.

**2.3.5 CARRIAGE HOUSE NEW OPENINGS.** New openings shall be permitted if designed consistently with the

historic character of the building in size and trim. New openings should not interfere with the building's ability to convey retained character-defining features as identified in the HRE. New openings shall be prohibited on the primary building facade (facing south as identified in the HRE). New openings may be permitted on the largely blank east, north, or west elevations if required by code or for programmatic need but should not be more prominent in their design than remaining openings.

A larger opening shall be permitted along the HRE-identified east facade in keeping with the size and design of the Early Estate Period

carriage entrance—approximately eight feet wide by eight feet tall centered on the dormer above, refer to Figure 2.7. New openings shall maintain a relationship between the Carriage House and Macky Hall.

**2.3.6 CARRIAGE HOUSE EXTERIOR PAINT.** Color schemes shall be based on historical analysis of the building by a paint conservator. The existing color scheme may be retained without study. The paint color of Carriage House should match the same era of color Macky Hall is painted to avoid a juxtaposition of historic colors that never occurred.

**2.3.7 CARRIAGE HOUSE INTERIOR PARTITIONS.** Removal of non-structural interior

partitions, which were not original to the building, is encouraged to maintain a large open space floor plan for both floors. Additionally, openings in the floor of the upper level of the building shall be permitted up to one-third of the floor area for internal stairs or double-height space. Unless it is deemed to conform with the Secretary of the Interior's Standards for Rehabilitation or based on documentation of conditions during the period of significance, the interior shall not be subdivided into spaces smaller than the existing ones nor shall the second floor be removed.



## 2.4 Rehabilitation of California College of the Arts Period Buildings

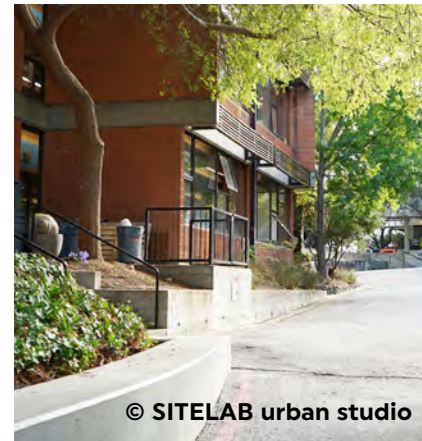
All 10 buildings constructed during the California College of the Arts Period contribute to district eligibility for the California Register and are identified as CEQA resources. The project proposes the removal of all ten buildings from the California College of the Arts Period. However, the guidelines in this section outline rehabilitation guidance should any of the buildings be retained.



Founders Hall



Martinez Hall



Noni Eccles Ceramic Arts Center



Barclay Simpson Sculpture Studio

**Figure 2.8:** Preferred California College of the Arts Period buildings for retention

**2.4.1 PREFERRED RETAINED STRUCTURES.** Four of the California College of the Arts Period buildings—Founders Hall, Martinez Hall, Noni Eccles Treadwell Ceramic Arts Center, and Barclay Simpson Sculpture Studio—are identified by the HRE as individually eligible for the California Register and should be prioritized in the event of additional rehabilitation efforts of building retention within the site. Refer to Figure 2.8 for buildings preferred for retention.

**2.4.2 CALIFORNIA COLLEGE OF THE ARTS PERIOD BUILDING RELOCATION.** Relocation of existing California College of the Arts Period buildings shall be permitted to be relocated so long as they do not create a

false sense of history in relation to Early Estate Period buildings—Macky Hall and Carriage House—nor to any other retained existing historic resource. Relocation shall be prohibited within the Macky Hall View Corridor, Macky Lawn, and any other setback requirements from Macky Hall, and Carriage House as identified in Section 2.5. Relocation shall be prohibited within 20 feet of the Broadway Wall. Relocated buildings shall maintain a consistent orientation to their existing orientation.

**2.4.3 CALIFORNIA COLLEGE OF THE ARTS PERIOD BUILDINGS' CHARACTER-DEFINING FEATURES.** Character-defining features that convey its historic significance

of rehabilitated and/or relocated California College of the Arts Period buildings shall not be altered to the extent feasible. If features are damaged or lost during rehabilitation or relocation, replacement of the features using the same or in-kind materials, colors, textures, and workmanship shall be required to the degree that is feasible.

**2.4.4 NEW BUILDINGS SETBACK FROM CALIFORNIA COLLEGE OF THE ARTS PERIOD BUILDINGS.**

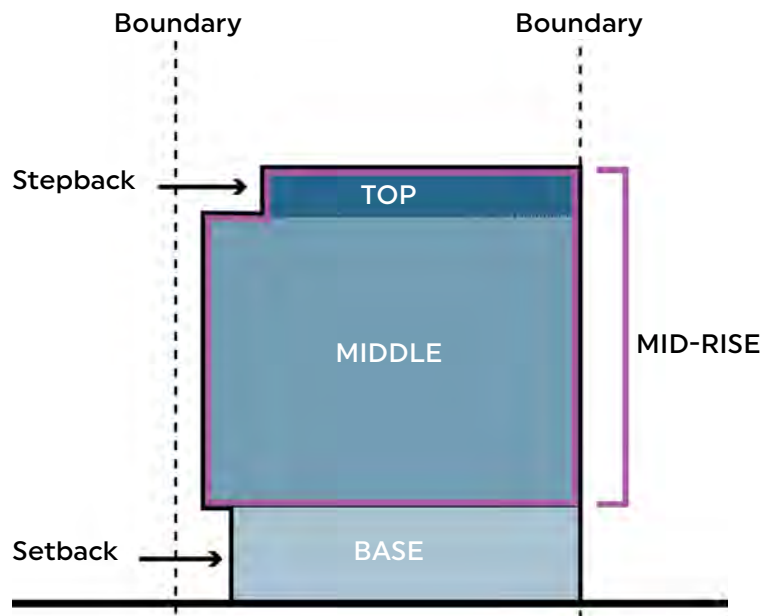
New buildings shall be setback a minimum of 40 feet from the primary facade, see Figure 2.3.

A minimum of 10 feet from all other facades of any retained and relocated California College of the Arts

Period buildings. For minimum setback requirements surrounding Early Estate Period landmark buildings—Macky Hall or Carriage House—see Guidelines 2.5.8 and 2.5.9.

# NEW CONSTRUCTION BUILDINGS

Guidelines in this section ensure the design of new construction buildings on the site are compatible with rehabilitated landmark buildings, respond to California College of the Arts Period building and landscape qualities, and relate as thoughtful neighbors to adjacent neighborhoods and corridors. Additionally, the new buildings, situated on Building A at the corner of Broadway and Clifton Street and Building B located along the eastern site boundary, frame the open space as well as the Broadway-College Avenue commercial corridor and respond to the sloping topography through guidelines in this section.

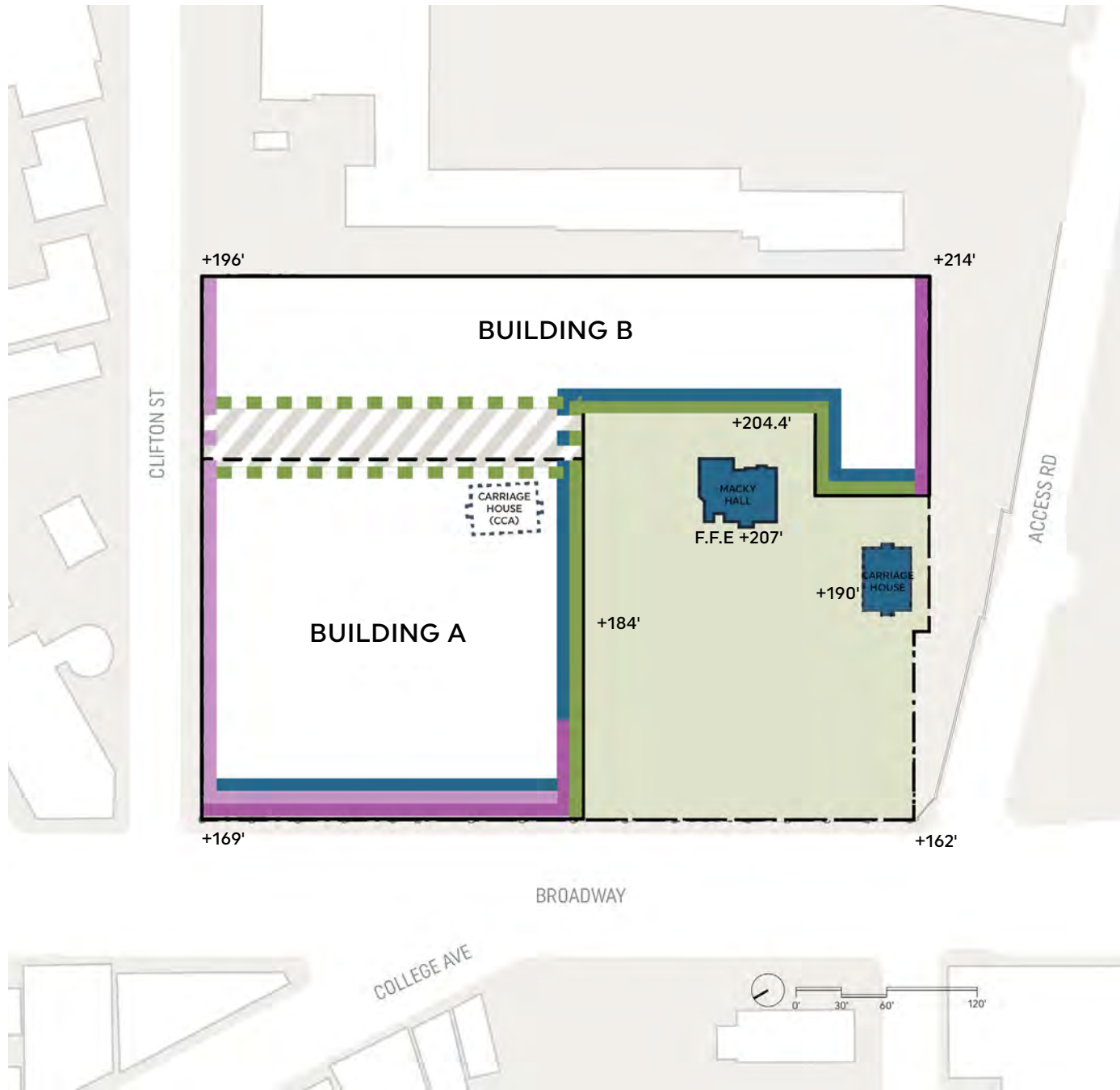


**Figure 2.9:** Section of building form terms

## TERMS:

- **BASE:** The base consists of the levels most intimately experienced when walking alongside a building—including the ground floor and second occupiable level. The base requires more detailed consideration around human scale design elements such as material application, rhythm, transparency, articulation, and setbacks from the site boundary.
- **MIDDLE:** The middle consists of levels above the base and below the top. The middle establishes the overall scale and rhythm of the building through massing, modulation, and articulation. In mid-rise residential buildings, the middle is generally the largest portion of the facade and plays a key role in architectural composition.
- **TOP:** The top consists of the last two occupiable levels. Building top strategies focus on those perceptible from a more distant vantage point and define the skyline of the site through height reductions, stepbacks, and roofline variation.
- **MID-RISE:** The mid-rise consist of all built levels above the base, including the middle and top levels, as described above, up to 95 vertical feet from grade.
- **HEIGHT:** Building height is measured between the top of roof excluding mechanical penthouse, elevator and stair overruns, parapets, or railings as measured from adjacent exterior finished grade, further clarifying the Oakland Municipal Code definition in Section 17.09.040.





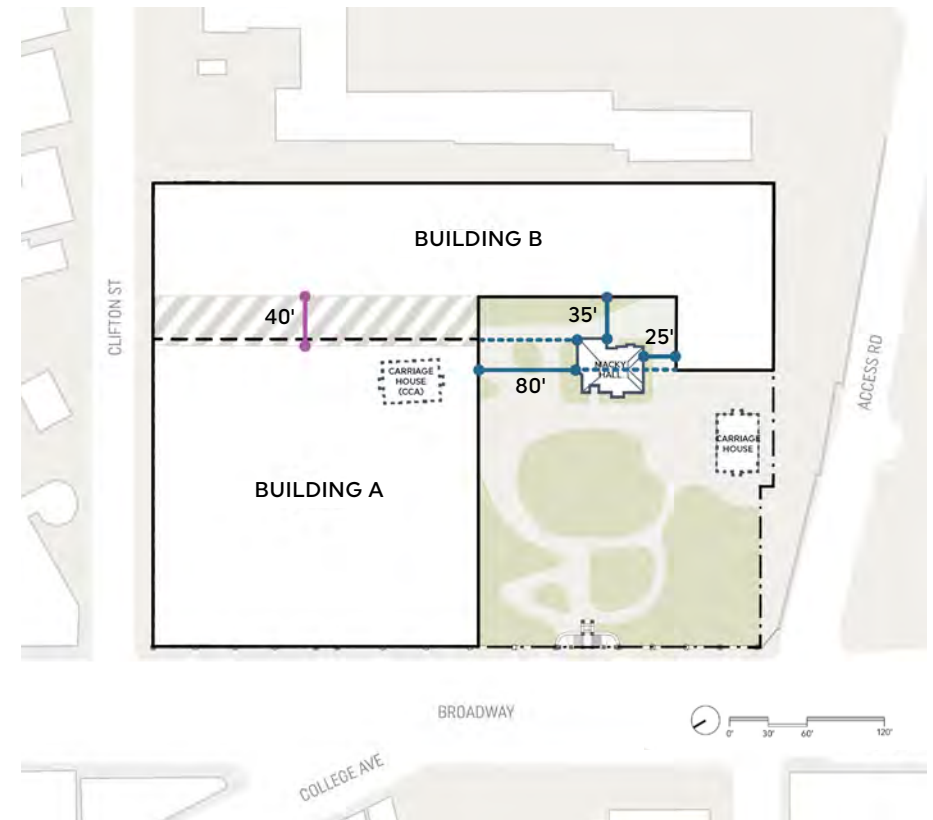
**Figure 2.10:** New building high visibility edges and adjacencies

- Street adjacent*
- Open space adjacent*
- Highly visible edges*
- Historic adjacent*
- Landmark buildings*
- +X'** *Above Sea Level*
- Approximate Paseo location*

## 2.5 New Building Form

This section guides new building massing in response to various adjacencies and site conditions, including landmark buildings, open space, neighborhood context, and topography. This section is organized into the following building massing strategies, see Figure 2.10:

- **BUILDABLE AREA:** Establishes the areas of the site where new buildings may be constructed.
- **SEPARATION, + SETBACK:** Establishes the relationships of new buildings to each other and to buildable area.
- **HEIGHT + ROOFLINE:** Establishes hierarchy and variation in building form, considering hillside topography, prominent vantage points of the site, and distant views from the site.
- **STEPBACKS + MODULATION:** Reduces the perceived scale of the building height and length through a variety of strategies, including changes in plane to neighboring properties and landmark buildings.



**Figure 2.11:** Building A and Building B buildable area boundaries

- |     |  |       |   |
|-----|--|-------|---|
| —   | <i>Buildable site boundaries</i>           | —●—   | <i>Neighborhood Paseo width</i>         |
| /// | <i>Approximate Paseo location</i>          | —●—   | <i>Site boundary setback dimensions</i> |
| —●— | <i>Alignment of site boundary to datum</i> | - - - | <i>Site boundary</i>                    |

## BUILDABLE AREA

**2.5.1 CUMULATIVE BUILDING FOOTPRINT.** Approximate to the percentage of the existing campus covered by buildings and asphalt, the cumulative building footprint of new buildings and rehabilitated historic landmarks—Macky Hall and Carriage House—shall not exceed 55 percent of the site area.

**2.5.2 NEW BUILDING LOCATION.** Similar to the site coverage and siting of California College of the Arts Period building footprints, new buildings are only permitted within the boundaries—further described in Guidelines 2.5.3 and 2.5.4, respectively.

**2.5.3 BUILDING A BOUNDARY.** Building A boundary shall be defined by the following edges:

- North: the site boundary at Clifton Street
- East: alignment with the east facade of Macky Hall
- South: a minimum of 80 feet from the north facade of Macky Hall
- West: the site boundary at Broadway

See Figure 2.11. Additionally, Building A shall not exceed 250 feet in width. Refer to Guidelines 2.5.8 and 2.5.9 for additional setbacks required to Macky Hall and Carriage House.

**2.5.4 BUILDING B BOUNDARY.** Building B boundary is defined by the following edges:

- North, East, and South: site boundary
- West: a 35-foot distance from the east facade of Macky Hall, except south of Macky Hall where the west facade of new buildings may extend up to alignment with the gable peak on the south of Macky Hall.

See Figure 2.11. Refer to Guidelines 2.5.8 and 2.5.9 for additional setbacks required to Macky Hall and Carriage House.

## SEPARATION + SETBACK

**2.5.5 NEW BUILDING BASE SEPARATION.** A minimum separation of 40 feet at the building base is required between Building A and Building B, similar to the siting of buildings in the existing campus, refer to Figure 2.13.

**2.5.6 NEW MID-RISE SEPARATION.** A minimum separation of 50 feet, for a minimum of 75 percent of the Building A frontage is required between Building A and Building B for daylight access into open space between Building A and Building B, refer to Figure 2.13.

**2.5.7 MULTIPLE STRUCTURES WITHIN A BUILDABLE AREA.** New structures located on the same buildable area shall be



physically separated by a minimum of 20 feet from each other and any retained California College of the Arts Period buildings, as shown in Figure 2.12.

**2.5.8 NEW BUILDINGS SETBACKS FROM MACKY HALL.** No new buildings shall be permitted within the following dimensions from the exterior building footprint of Macky Hall, as shown in Figure 2.12:

- 80 feet minimum to the north
- 35 feet minimum and an average of 40 feet to the east
- 25 feet minimum to the south

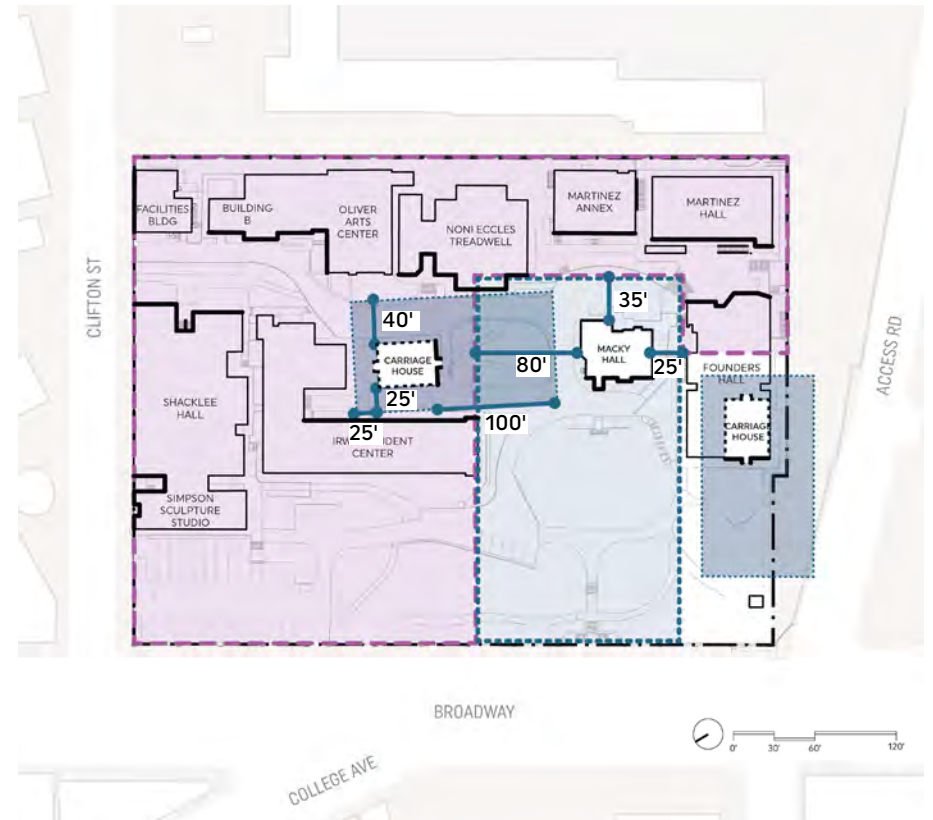
New buildings are prohibited to the west of Macky Hall to maintain the existing Macky

Hall View Corridor, as described in Guideline 2.3.1.

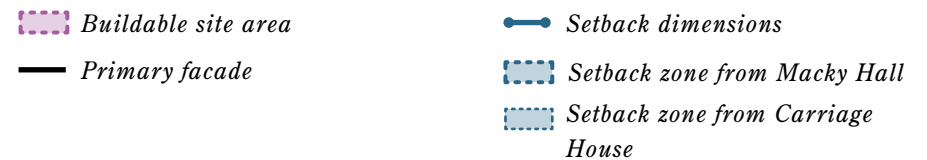
The above dimensions are consistent with Macky Hall's relationship to the nearest buildings of the California College of the Arts Period.

**2.5.9 NEW BUILDINGS SETBACKS FROM CARRIAGE HOUSE.** No new buildings shall be permitted within the following dimensions from the exterior building footprint of Carriage House:

- 25 feet minimum to the west
- 25 feet minimum to the north
- 40 feet minimum to the east
- 100 feet minimum to the south



**Figure 2.12:** Setback zones surrounding Macky Hall and Carriage House

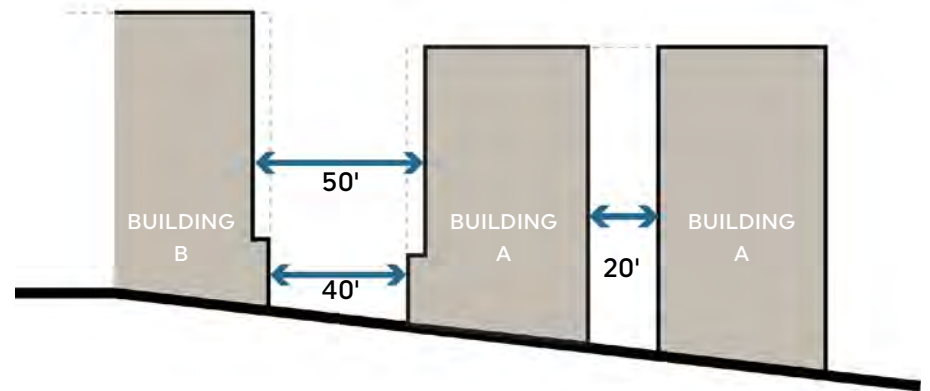


The above dimensions correspond to the location of Carriage House at the time of the HRE and shall translate to the respective sides of the building if relocated and reoriented (see Guideline 2.1.2). The dimensions listed are consistent with the relationship between Carriage House and the nearest buildings of the California College of the Arts Period, as shown in Figure 2.12.

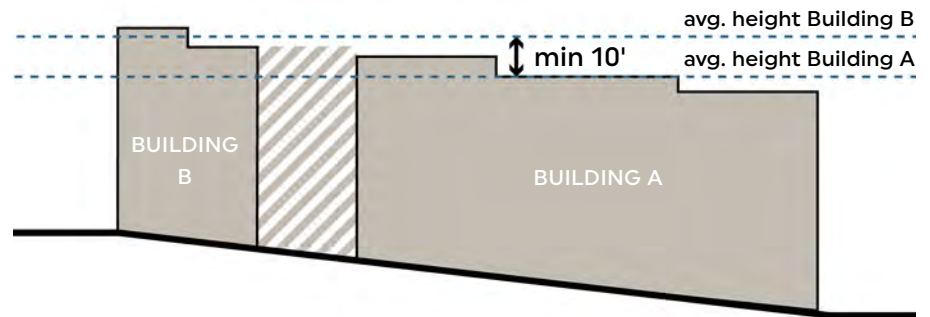
into a building. Building within five feet of the wall is encouraged to continue the strong streetwall present on College Avenue. However, setbacks at commercial uses may extend up to 30 feet from the east edge of the Broadway Wall at commercial frontage to enable activity on both sides of the wall as it is experienced today.

**2.5.10 BROADWAY WALL NEW BUILDINGS SETBACK.**

New buildings shall be setback a minimum of three horizontal feet from the east edge of the Broadway Wall to retain the wall's distinction as a unique site feature, not an architectural element integrated



**Figure 2.13:** Building separation between Buildings A and B and between multiple structures in same buildable zone



**Figure 2.14:** Height differentiation minimum for new buildings

## HEIGHT + ROOFLINE

### 2.5.11 NEW BUILDINGS HEIGHT DIFFERENTIATION.

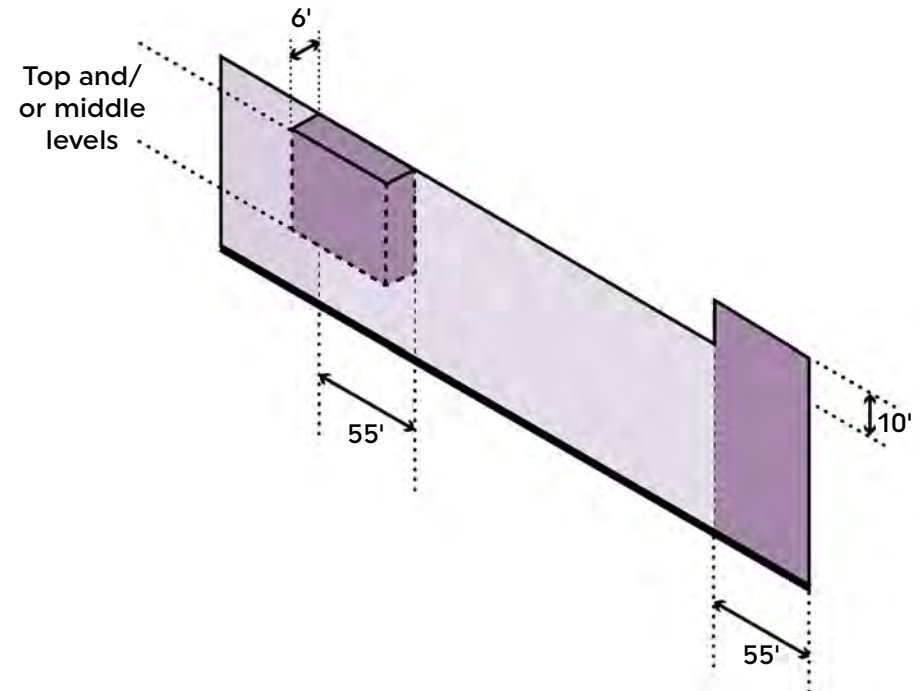
New buildings are encouraged to have a legible difference in height as viewed from a distance. The average height of roof surfaces on Building A shall differ from the average height of roof surfaces on Building B by a minimum of 10 vertical feet as measured from the northwest corner of Building A at Broadway and Clifton Street — approximately +169 feet above sea level as shown in Figure 2.14.

**2.5.12 PRIORITY HEIGHT LOCATIONS.** To create a varied roofline to respond to the topography and bulk of new buildings, each Building shall establish legible priority locations,

along highly visible edges as represented in Figure 2.10:

- Building A should include at least one but no more than two priority height locations along Broadway or corners facing the open space, aligned vertically to commercial uses, building entries, or crosswalks
- Building B should include at least one but no more than two vertical expressions for height along the southern half of its west edge and aligned vertically to building entries or the highest grade elevation surrounding the building.

Priority height locations shall either exceed



**Figure 2.15:** Priority height qualifications



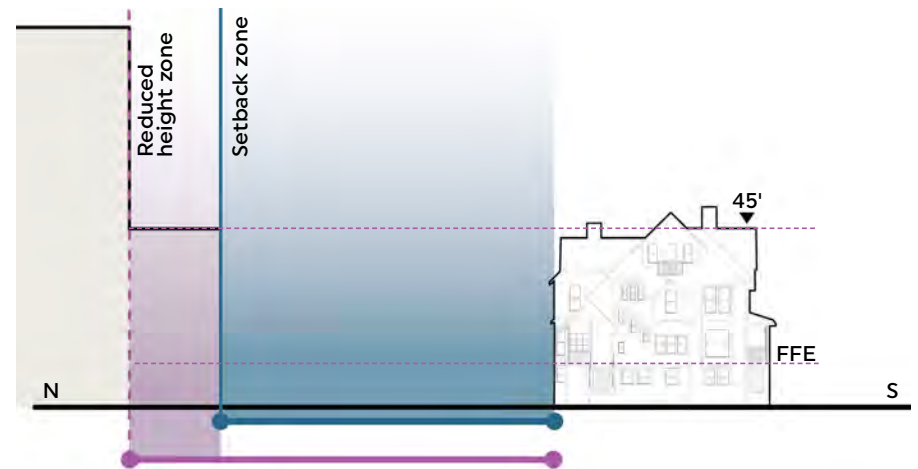
the predominant roof height of the building by a minimum of 10 feet or the top or middle levels shall protrude horizontally from adjacent midrise massing levels by a minimum of six feet. Priority height locations shall not exceed 55 feet in width to emphasize a prominent vertical orientation. Refer to Figure 2.15.

**2.5.13 REDUCED HEIGHT REQUIREMENTS SURROUNDING MACKY HALL.** To reference the height of the buildings from the Early Estate Period and California College of the Arts Period, any component of new buildings located within the Macky Hall height reduction zone (as defined below) shall be limited to four

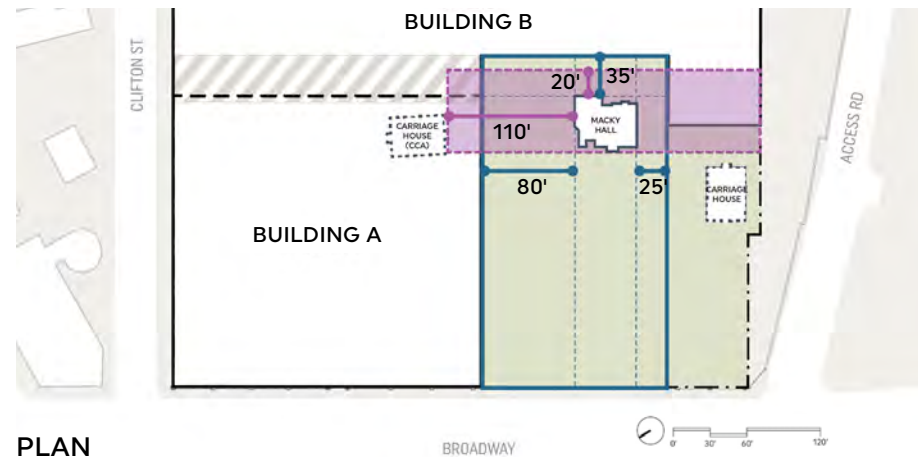
stories or 45 vertical feet, whichever is less, measured from the finished floor elevation (FFE) of the main level to Macky Hall—approximately +207 feet above sea level—to top of roof.

The Macky Hall height reduction zone is defined by dimensions from the exterior building footprint of Macky Hall—and reflected in Figure 2.16:

- 110 feet minimum to the north (measuring approximately to the facade of Carriage House)
- 20 feet minimum to the east (measuring approximately to the facade of Noni Eccles Treadwell building)
- Extending to the south site boundary



**ELEVATION**



**PLAN**

**Figure 2.16:** Reduced height zone west elevation of and adjacent to Macky Hall

□ Setback zone from Macky Hall

■ Reduced height zone

- Aligned to the west (primary) facade of Macky Hall

**2.5.14 REDUCED HEIGHT AT THE INTERSECTION OF BROADWAY AND CLIFTON STREET.**

To relate to the scale of nearby multi-family residential buildings along Broadway Terrace which are typically three to five stories, new building facades located within 65 feet of the corner of Broadway and Clifton Street shall stepback above 65 feet in height. Stepbacks shall measure a minimum of 15 feet in depth from the site boundary. Refer to Figure 2.10 facade adjacencies.

**2.5.15 ARTICULATED**

**ROOFLINES.** All building elevations over 70 feet in length require an articulated roofline to

reflect the variety of roofline conditions seen in Rockridge through a minimum of two of the following strategies:

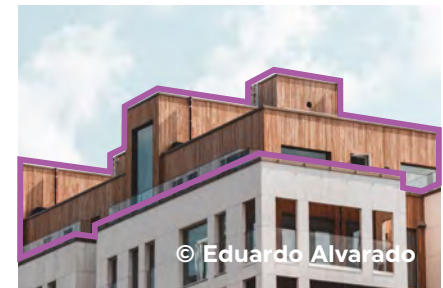
- Varied parapet height with a minimum change of three feet vertically
- A change in material or color at top levels
- Massing projections or recess and horizontal elements that project beyond the facade a minimum of three feet at the top of a floor
- Stepback top levels for a minimum of five feet deep
- Variation of residential unit form at the topmost occupiable level with distinct dimensions for openings differing from the rest of the mid-rise floors

- Contiguous rooflines (15-degree change in roof slope or flat) may not exceed 30 feet in length.

Refer to Figure 2.17 for an illustrative example of strategies.



© Christopher Payne  
**Projecting horizontal element**



© Eduardo Alvarado  
**Change in material**



© SITELAB urban studio  
**Variation in residential unit form**

**Figure 2.17:** Examples of articulated roofline

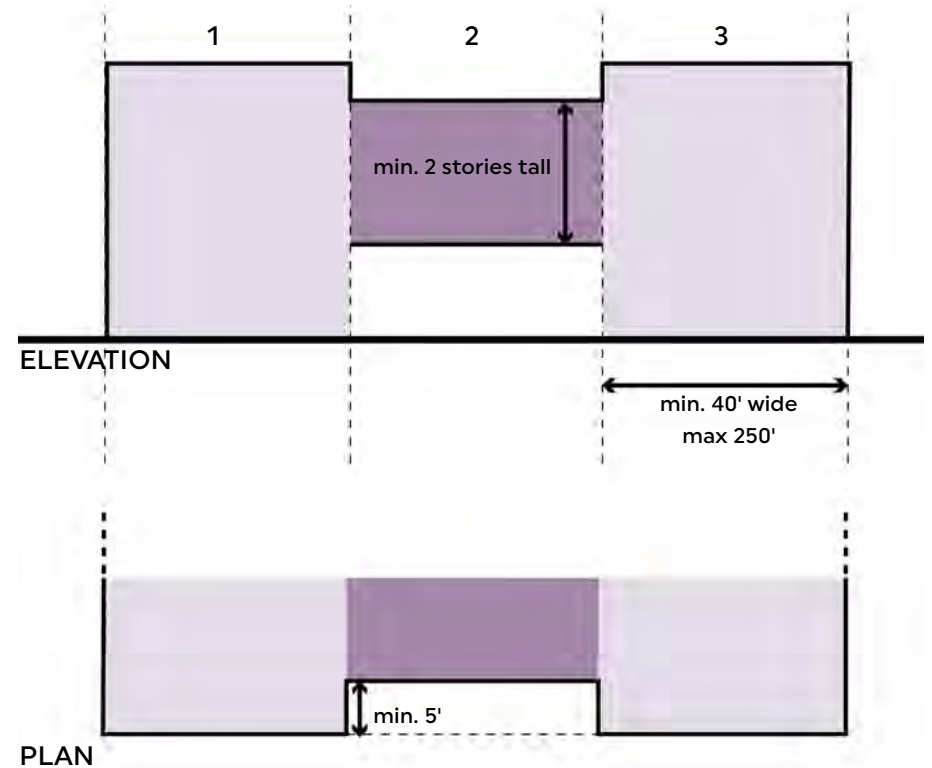
## STEPBACKS + MODULATION

**2.5.16 SUBDIVIDING MID-RISE VOLUMES.** To reduce the perceived scale of new buildings, in keeping with the scale of development along Broadway and Broadway Terrace, mid-rise levels shall be subdivided into smaller legible volumes. New building facades adjacent to streets and open spaces, as shown in Figure 2.10, shall be subdivided, at a minimum, into the following number of volumes based on facade length:

- <100 feet in length = one volume
- 100 – 250 feet in length = three volumes
- >250 feet in length = five volumes

Volumes may be expressed vertically or horizontally but shall be a minimum of two stories in height and 40 feet in length. A change in plane with a minimum depth of 5 feet shall be required from adjacent volumes. Continuous horizontal volumes shall not exceed 250 feet in length. The east edge of Building B shall be exempt from subdivision of mid-rise volumes. See Figure 2.18 for a subdivision of volumes diagram.

**2.5.17 CLIFTON STREET STEPBACK.** To relate to the scale of nearby multi-family residential buildings along Broadway Terrace which are typically three to five stories, new buildings along the north edge of Buildings A and B along Clifton Street shall



**Figure 2.18:** Elevation and plan of subdividing the mid-rise



stepback an average of 10 feet from the site boundary above 75 feet in height. See Figure 2.19.

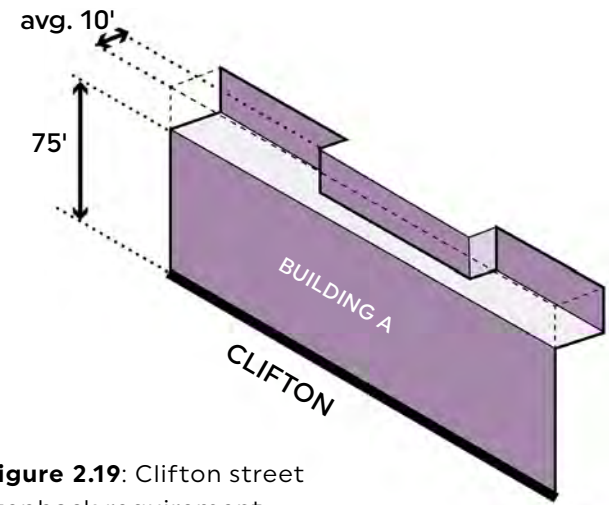
**2.5.18 OPEN SPACE STEPBACKS.**

To increase solar access within the open space, the south and west building elevations facing open space on Buildings A and B shall stepback a minimum of 10 feet in depth from the site boundary above 75 feet in height for 50 percent, cumulative, of the building elevation. See Figure 2.20. Refer to Figure 2.10 for facades south of open space or interior courtyards.

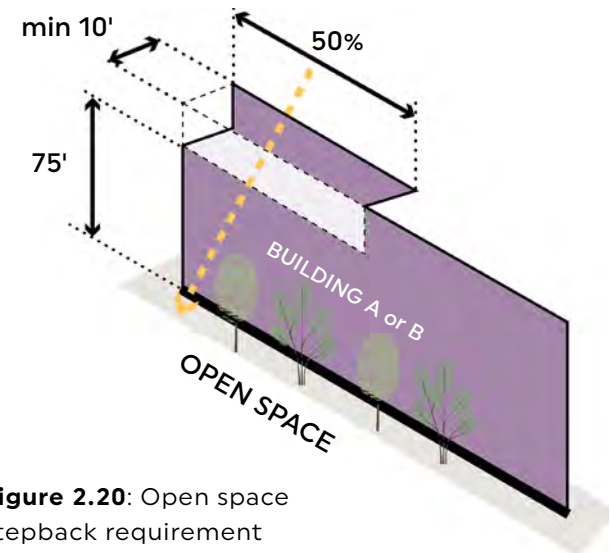
**2.5.19 HEIGHT DATUM REFERENCE TO CALIFORNIA COLLEGE OF THE ARTS PERIOD BUILDINGS.** Elevations of new buildings along the east edge of Building

A and west edge of Building B shall relate to California College of the Arts Period architecture by expressing a height datum between 20 and 45 feet above grade for at least 70 percent of the elevation length. The height datum is encouraged to express a variety of different heights across the elevation length. Strategies for expressing a height datum include, but are not limited to:

- Change in plane, including stepbacks or projections, at a minimum depth of two feet
- Horizontal elements, including awnings or canopies, at a minimum depth of two feet
- Change in material paired with a minimum



**Figure 2.19:** Clifton street stepback requirement



**Figure 2.20:** Open space stepback requirement

change in depth of 6 inches.

**2.5.20 FRAMING MACKY HALL.**

The southern half of Building B should frame Macky Hall through its massing. A minimum of three changes in plane of no less than the comparable width of Macky Hall, approximately 60 feet, shall be required. Framing may include but is not limited to the following strategies: projection in massing within the Building B boundary and /or stepback in massing. Refer to Guideline 2.5.8 for Macky Hall setbacks and Guideline 2.5.13 for Macky Hall height reduction zone.

**2.5.21 MID-RISE FACADE RHYTHM.** Mid-rise levels for all new building elevations

shall establish a rhythm of facade articulation or modulation at intervals relative to their immediate adjacencies, as shown in Figure 2.10.

- For edges adjacent to intimate conditions along Clifton Street, the Neighborhood Paseo (as defined in Section 3.5), Early Estate Period buildings, or California College of the Arts Period buildings a rhythm between 25 and 50 feet in width shall be required to respond to the approximate width of California College of the Arts Period buildings along the east side of the existing campus.
- For all other conditions (including edges adjacent to Broadway, Macky Lawn, and

the southern site boundary), a rhythm up to 70 feet shall be required to respond to the approximate width of lots along College Avenue.

Mid-rise level massing that is three or fewer stories in height or setback greater than 10 feet from the site boundary shall be exempt from this requirement.

Qualifying modulation strategies include but are not limited to:

- Change in plane of 2-foot minimum depth
- Change in orientation of greater than 20-degrees
- Change in material or color

- Architectural elements with greater than 2-foot minimum depth

Where appropriate, rhythm is encouraged to reference the width of removed California College of the Arts Period buildings or landmark buildings.

## 2.6 New Building Base

New buildings' base design makes reference in rhythm and scale to the removed California College of the Arts Period buildings, the commercial frontage along College Avenue, and the residential character of Rockridge.

This section is broken down into the following subsections:

- **USE + ENTRIES:** Activate streets and open spaces and provide transitions from public and private spaces.
- **SETBACKS + DEFINITION:** Frames the public realm by establishing a streetwall or creating a landscape buffer.
- **SCALE + RHYTHM:** Engages the facade with the pedestrian experience in the public realm by establishing regular intervals of facade articulation and integrating preferred materials.
- **INTEGRATED FACADE FEATURES:** Guidelines in this section integrate vegetation and artwork within the building base similar to the characteristics of the California College of the Arts Period.

### USE + ENTRIES

**2.6.1 BUILDING A USE ON BROADWAY.** A minimum of 50 percent of the ground floor shall be dedicated to commercial use, educational use, or HBX Live-Work units along Broadway in order to provide continuity along the commercial corridor.

**2.6.2 SHARED INDOOR AND OUTDOOR PROGRAMMING.** Common residential spaces in new buildings, including courtyards, amenities, and lobbies, are encouraged along the publicly-accessible open spaces to encourage informal connection in keeping with how Rockridge building entries address the street. To the extent possible shared indoor and outdoor

programming should encourage activation and visibility. Refer to Figure 2.10 for adjacencies to open space.

**2.6.3 MINIMUM BUILDING ENTRIES.** New buildings shall provide building entries to commercial uses, educational uses, HBX Live-Work units, or common residential spaces, including courtyards, amenities, and lobbies, at minimum according to the following frequencies that respond to the approximate lot widths and entries along College Avenue:

- Minimum one entry along elevations less than 70 feet in length
- Minimum two entries along elevations



between 70 to 250 feet in length

- Minimum three entries along each elevation greater than 250 feet in length
- No entries are required on the east and south edges of Building B.

#### **2.6.4 EXPRESSED ENTRIES.**

To highlight primary entries in keeping with the architecture of the California College of the Arts Period buildings, commercial, educational, HBX Live-Work units, residential amenities, or lobby entries at the ground floor of new buildings are encouraged to be differentiated and pronounced through massing projections, recesses, or extended horizontal elements and any can be combined with a material change,

as shown in Figure 2.21.

Commercial or educational entries are encouraged to maintain public facing visibility by incorporating two or more of the following elements:

- Change in wall/window plane in relation to the primary building facade
- Increased percentage of glazing
- Integrated art feature
- Horizontal projections and recesses
- Canopies, shading devices, or awnings
- Expressed structural elements
- A change in material or detailing
- Recessed doors or cased openings.

**2.6.5 REFERENCING HISTORIC ELEVATIONS.** The west edge of Building B shall have finished floor elevations at a minimum of three different heights and ranging a minimum of 10 feet, referencing the variation in finished floor elevations of the California College of the Arts Period Buildings.

**2.6.6 ENTRY ALONG HILLSIDE.** Building access or unit entries shall be provided to at least two finished floor levels elevations along the north and south sides of Building A, to reflect the hillside topography.



**Figure 2.21:** Examples of expressed entry

## SETBACKS + DEFINITION

### 2.6.7 **DEFINED BUILDING BASE.**

All new buildings, unless otherwise noted, shall have a defined base to respond to heights represented along College Avenue and California College of the Arts Period buildings. Strategies to define the base include the following:

- Setback or extension of building base from levels above a minimum of two feet in depth
- Rhythm of increased frequency from mid-rise levels
- Horizontal elements projecting a minimum depth of two feet
- Material differentiation

- Difference in facade articulation—such as expressed bays—from levels above with a minimum depth of six inches.

## SCALE + RHYTHM

### 2.6.8 **BUILDING BASE RHYTHM.**

To establish a human scale relationship along pedestrian paths, new building bases adjacent to open space and streets, as shown in Figure 2.10, shall create a rhythm between 25 and 40 feet in width – similar to that of College Avenue. Rhythm shall be established through articulation strategies including, but not limited to:

- Expressed bay structure, structural element, or pilasters of a minimum six inches in depth
- Exposed columns
- Changes in plane of a minimum of one-foot in depth

- Horizontal element or trellis structural element.

2.6.9 **BUILDING INTERFACE AT BROADWAY WALL.** Base levels and architectural elements such as trellises along the west edge of Building A located within 10 feet of the Broadway Wall are encouraged to reference pilaster rhythm of the Broadway Wall through strategies including, but not limited to aligning facade articulation or fenestration pattern to the pilaster rhythm of the Broadway Wall, or similar spacing. If located beyond 10 feet from the Broadway Wall, the base shall not be required to align with the Broadway Wall pilasters, however, should be visually subsidiary to the Broadway Wall.

**2.6.10 NEIGHBORHOOD PASEO HORIZONTAL ELEMENTS.** Ground floor unit entries fronting the Neighborhood Paseo as defined in Guideline 3.6.1 are encouraged to make use of architectural elements such as horizontal projections and canopies, awnings, trellises, or expressed structural elements with a depth of minimum two feet over stoops and extended porches, reflective of Rockridge streetscapes. These elements should be modest in scale—framing the entry or individual openings—similar to craftsman style homes in Rockridge. Exposed and expressed structures and construction elements are encouraged.

## INTEGRATED FACADE FEATURES

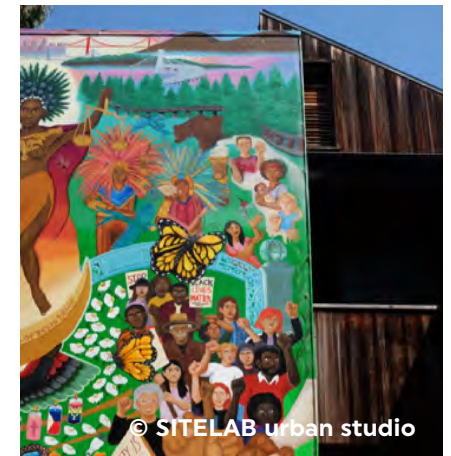
**2.6.11 LIMITING BLANK WALLS.** It is recommended that new building elevations limit blank walls on the ground floor to no greater than 20 percent of each building elevation adjacent to street or open space—refer to Figure 2.10. Blank walls are continuous stretches of greater than 25 feet without openings, vegetation, or integrated art features between three and 10 feet above grade.

Where blank walls are unavoidable—such as steep grade changes along the hillside of the site, mitigation strategies such as public art, changes in preferred materials, planters, or planting, building

integrated vegetation, or light features are encouraged. See Figure 2.26 for preferred materials palette.

**2.6.12 FACADE ART TREATMENTS.** Art applied to new building facades is encouraged in locations related to California College of the Arts Period art installations fronting open spaces, including but not limited to facing Macky Hall, Macky Lawn, and along the Neighborhood Paseo. Installations that change over time are encouraged. Where possible, involvement from local artists, Oakland Tech students or alumni, and CCA students or alumni is encouraged. Art application shall be on building walls

more than 20 feet in length and fronting open spaces that have minimal fenestration in the form of murals, revolving installations with local art groups, or environmental graphics.



**Figure 2.22:** Examples of integrating art on blank walls

## 2.7 New Building Facade Composition

Fenestration composition, material palette and application, and arts integration contribute to the new buildings representing the California College of the Arts Period legacy as a steward of high-quality design. This section is broken down into the following subsections:

- **FENESTRATION:** Defines the character of the building elevation—reflecting the program of the building and emphasizing locations of prominence. Fenestration breaks up the building scale into legible units.
- **MATERIALS + CRAFT:** Highlights of the California College of the Arts Period architecture include the artful demonstration of structural elements, the use of a variety of high quality materials with noteworthy texture, and the use of openings and horizontal elements to create shadow and lines.

### FENESTRATION

**2.7.1 ORGANIZATION OF FENESTRATION.** New building glazing units should be aligned to clear horizontal and vertical datums to create a fenestration grid consistent with the modernist architecture of the California College of the Arts Period. The rhythm of horizontal and vertical datums are permitted to shift across the length or height of the building elevation to provide flexibility in the detailed arrangement of openings. Maximum spacing for horizontal and vertical datums of fenestration grids are tied to building elevations as follows:

- Along high visible edges identified in Figure 2.10, individual units of

the fenestration grid shall not exceed three stories in height nor 35 feet in width to avoid large continuous expanses of glazing similar to the context.

- Along historic adjacent edges identified in Figure 2.10, individual units of the fenestration grid shall not exceed two stories in height or 25 feet in width to not exceed the scale of Landmark buildings.
- Along intimate conditions such as the Neighborhood Paseo and Clifton Street individual units of the fenestration grid shall not exceed one story in height nor 15 feet in width similar to the scale of residential architecture in Rockridge.



- Along the east elevation of Building B, a fenestration grid shall not be required but the alignment of openings vertically and horizontally is generally preferred.

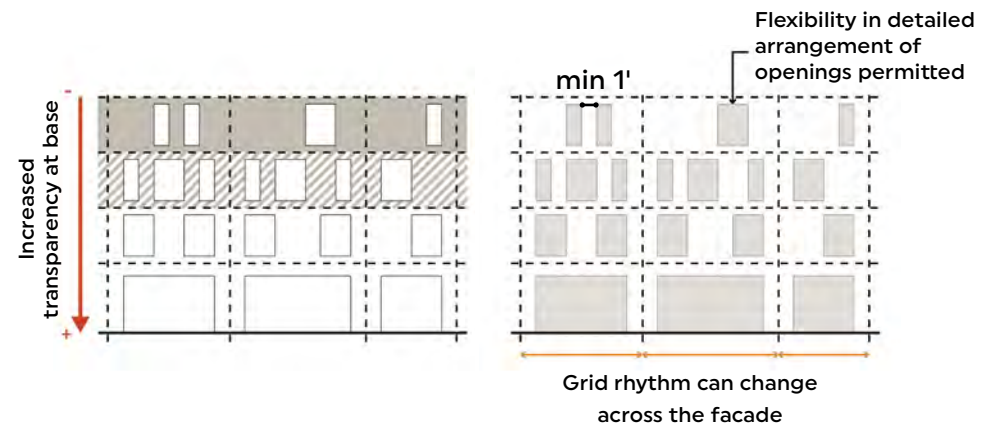
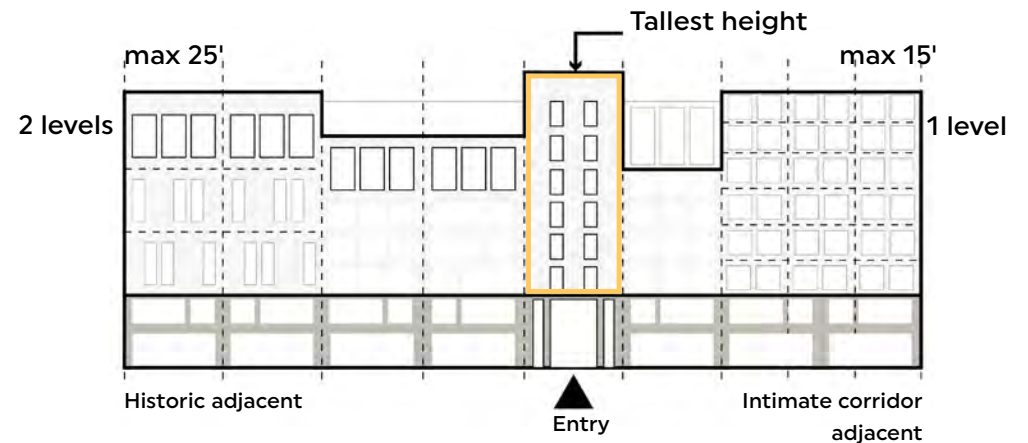
Fenestration grids shall be a continuous facade material no less than one-foot in width. Continuous curtain wall systems should be avoided, as they are not common to the architectural character of Rockridge. Fenestration grid requirements do not apply to the building base. Refer to Figure 2.23 for fenestration organization and proportion.

**2.7.2 PROPORTION OF FENESTRATION AT THE BASE.** The building base of new buildings shall have a higher proportion

of transparency or openings than the mid-rise to encourage indoor-outdoor connections and visibility between new buildings and open spaces similar to storefronts along College Avenue and Broadway. Refer to Figure 2.23 for fenestration proportion.

**2.7.3 VERTICAL VOLUME EXPRESSION.** To accentuate priority height locations or primary building entrances on new buildings, at least two of the following strategies shall be employed:

- Continuous building elevation pattern from mid-rise to base levels
- Vertically oriented architectural features



**Figure 2.23:** Fenestration proportions and organization

including louvers, fins, or material application

- Aligned, vertically oriented fenestration patterns
- A larger proportion of openings in the building top than the middle. Refer to Figure 2.23 for fenestration proportion.

#### **2.7.4 GLAZING UNITS SCALE.**

Uninterrupted glazing segments in mid-rise levels shall not exceed 24 square feet as a bird-safe design feature and to encourage the use of mullions for large openings. To the extent possible, mullions should be designed with regular horizontal spacing similar to other multi-story residential buildings along Broadway Terrace. Thin mullions are preferred. Expansive segments of

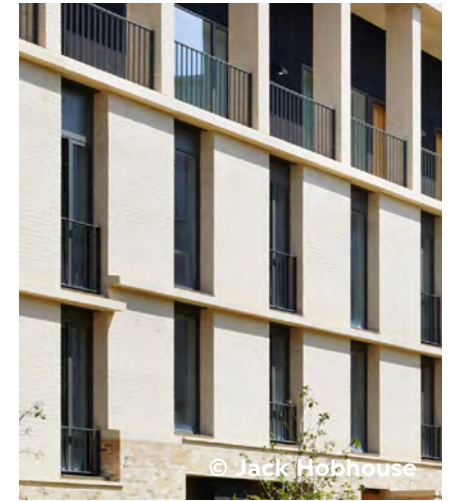
the curtain wall shall be prohibited.

#### **2.7.5 MINIMUM WINDOW DEPTH.**

All windows above the base level of new buildings shall include a minimum depth of two inches between the facade edge and glazing panel to produce a shadow line within each opening, a common feature of residential architecture in Rockridge. Contemporary applications of architectural elements that define openings including, but not limited to, lintels, sills, frames, or shading devices are generally encouraged.

#### **2.7.6 ENHANCED OPENING DEPTH.**

In priority height locations of new buildings as identified in Guideline 2.5.12, the



**Figure 2.24:** Examples of enhanced opening depth

opening depth shall exceed the baseline depth, in keeping with the architecture of the California College of the Arts Period, at mid-rise levels at a minimum of 35% of openings through one of the following strategies:

- Recessed openings at a minimum depth of 12 inches between facade edge and glazing panel.
- Additive architectural elements that protrude from the primary facade surface no less than six inches. Elements may include but are not limited to frames, lintels, sills, louvers, awnings, trellises, or shading devices. Elements must be distinguished from

the primary facade system by physical separation, expressed joinery, or material change.

Refer to Figure 2.24 for imagery of enhanced opening depth.

## MATERIALS AND CRAFT

### 2.7.7 **NEW BUILDING DIFFERENTIATION.**

Adjacent and facing new buildings shall reflect different facade systems to reflect the variety found in California College of the Arts Period architecture. At a minimum, facade systems shall vary between all new buildings in at least two of the following ways:

- Material
- Finish/Texture
- Color
- Application
- Scale of rhythm or fenestration 25 percent different
- Opening depth strategy

- Orientation of openings (horizontal vs. vertical)

Additionally, each building shall incorporate a unique preferred material that the other new buildings do not.

### 2.7.8 **EXPRESSED ASSEMBLY.**

Similar to the California College of the Arts Period buildings, design quality shall be demonstrated through the exposed assembly of material changes and structural elements. Multiple materials within individual buildings shall be permitted. A change in material should align with massing shifts, modulation, construction of form, and programmatic expression. A change in material shall have a minimum depth of six inches. Where possible,

at changes of material or at openings, expose structural elements such as beams, columns, or joinery details to convey a sense of the assembly. See Figure 2.25 for examples.

**2.7.9 MATERIAL PALETTE.**

New buildings shall use high quality, durable materials familiar to existing California College of the Arts Period buildings at the building base. Materials should age well, express their construction, remain natural in their appearance and expression, and have an inherent tactility and visual depth.

Preferred materials shall be applied on a minimum of 20 percent of all new building elevations facing the street or open space—

excluding glazed surfaces— shown in Figure 2.10. Preferred materials include but are not limited to concrete, earthen materials and masonry (including glass block), wood, ceramics, and metal. Additional materials beyond those listed shall qualify as preferred materials if they are found in the facade of Early Estate Period or California College of the Arts Period buildings. Stucco shall not be considered a preferred material. Refer to Figure 2.26 for a preferred material palette.

**2.7.10 MID-RISE MATERIAL REFERENCE TO CONTEXTUAL**

**LANDMARKS.** Light-colored materials are preferred within mid-rise levels of new

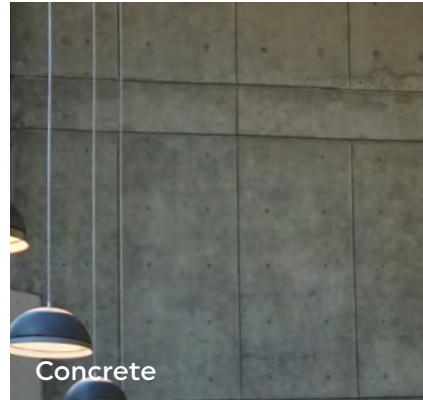
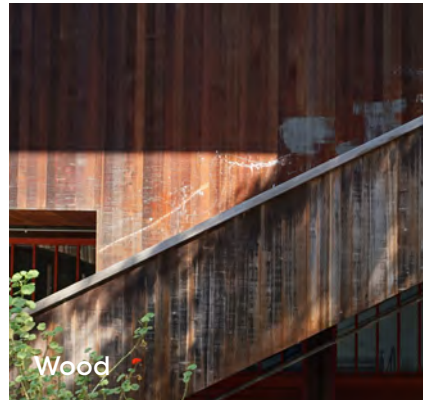
buildings similar to other prominent buildings in the Berkeley Hills, which evolve in their appearance throughout the day and glow in the afternoon sun.

**2.7.11 COMMEMORATION OF CALIFORNIA COLLEGE OF THE ARTS PERIOD ARCHITECTURE.**

It is encouraged to commemorate and record existing structures from the California College of the Arts Period and honor the history of Arts and Crafts on site. New buildings could reference the existence by incorporating pieces of existing structures into the new structure or referencing any removed California College of the Arts buildings by incorporating design

elements and materials used in those structures.





**Figure 2.25:** Modern architectural details expressing craft from California College of the Arts Period buildings

**Figure 2.26:** Preferred material palette  
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**5212 Broadway Open Space:**  
Qualities of the California  
College of the Arts Period  
landscape and aspirational  
characteristics.



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# 3

# OPEN SPACE DESIGN GUIDELINES

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# CONTRIBUTING + RETAINED LANDSCAPE FEATURES

This section provides guidance on the mechanisms for retaining the setting of Macky Hall and Carriage House in the landscape to the Secretary of the Interior's Standards, retention of Historic Resource Evaluation (HRE) identified contributing landscape features shown in Figure 3.1, and treatment to the elements that contribute to their characteristics.

Oakland  
Landmark and  
National Register  
Contributing



Broadway Wall + Stairs



Carnegie Bricks



Macky Hall View Corridor

Area of Primary  
Importance (API)  
Contributing



Faun Sculpture



Macky Lawn



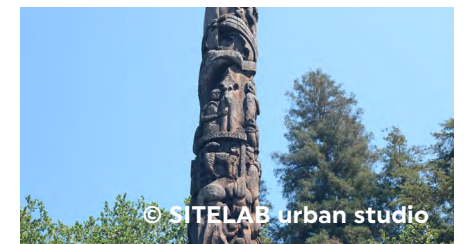
Stairs with Ceramic Pots



Infinite Faith



Bell Tower



Celebration Pole

**Figure 3.1:** Landscape features contributing to the Oakland Landmark and to the Area of Primary Importance



## 3.1 Setting of Landmark Buildings

The guidelines in this section pertain to the landscape design around Macky Hall and Carriage House in keeping with each landmark building's historical significance and maintaining Carriage House as secondary in appearance, prominence, and location to Macky Hall, as experienced in both Early Estate Period and California College of the Arts Period.

### MACKY HALL REHABILITATION

**3.1.1 PRIMARY FACADE OF MACKY HALL.** Open space features should support the visual emphasis of the western facade of Macky Hall as its primary facade and entrance, while the east facade remains as its secondary entrance— in keeping with the setting of the building during the Early Estate Period and the California College of the Arts Period. The north and south facades should remain tertiary during redevelopment.

Open space features to emphasize the western and eastern facades include but are not limited to framing with plantings and primary pedestrian circulation routes (defined in

Section 3.5) leading to Macky Hall's primary and secondary entrances, as seen in Figure 3.2.

**3.1.2 PLANTING NORTH AND SOUTH OF MACKY HALL.** During the California College of the Arts Period, Macky Hall was experienced more intimately from the north and shielded from the south with Founders Hall, as seen in Figure 3.3. In keeping with this existing condition, the close-range view and experience of Macky Hall's north facade shall be maintained and framed through planting and retention of heritage trees (defined in Section 3.4). The open space directly south of Macky Hall must include plantings to shield this Landmark Building in a similar manner.

**3.1.3 VISUAL CONNECTION BETWEEN MACKY HALL AND CARRIAGE HOUSE.**

Macky Hall and Carriage House shall maintain a visual relationship that is stronger than either building has with any other buildings in the site, while Carriage House remains secondary in relation to Macky Hall, similar to their relationship in the Early Estate Period and California College of the Arts Period. This can be achieved through siting of Carriage House (see Section 2.1 in Chapter 2: Buildings Design Guidelines), layering and / or framing connections with plantings, and grade relationship between the two buildings (defined in Guideline 3.1.6).

**3.1.4 GRADE RELATIONSHIP BETWEEN MACKY HALL AND CARRIAGE HOUSE.**

Macky Hall's finished floor elevation shall be maintained and remain at a higher topographically position in relation to both Macky Lawn and Carriage House to suggest the building's historical prominence as evident in the Early Estate Period and California College of the Arts Period. Minimal changes are permitted in the surrounding grading except as required for emergency vehicles and ADA access.



East of Macky Hall (view from northeast)



View from southeast



West of Macky Hall (view from southwest)



View from northwest

**Figure 3.2:** Landscape conditions at west and east facades of Macky Hall

**Figure 3.3:** Landscape conditions at north and south facades of Macky Hall

## CARRIAGE HOUSE REHABILITATION

**3.1.5 CARRIAGE HOUSE PLANTING.** Carriage House shall maintain its setting as being embedded in the landscape and plantings as it was in the California College of the Arts Period and the Early Estate Period, as seen in Figure 3.4. This can be achieved through but not limited to primary and secondary pathways (see Guideline 3.1.6) and the following planting strategies:

- Carriage House must be surrounded by canopy and understory planting. If there are new buildings or landscaped elements in close proximity to Carriage House, planting should be

used to visibly separate the two.

- The proposed and existing trees surrounding Carriage House should prioritize layering vegetation (1) directly between Carriage House and Macky Lawn / Macky Hall and (2) to minimize prominent views to and from Carriage House from Broadway and the surrounding Oakland area.

**3.1.6 CARRIAGE HOUSE CIRCULATION.** Secondary pedestrian paths (as defined in Section 3.5) should be provided to Macky Lawn and to Macky Hall from Carriage House, similar to paths during the California College of the Arts Period. Refer

to Figure 3.4 for existing landscape character surrounding Carriage House.



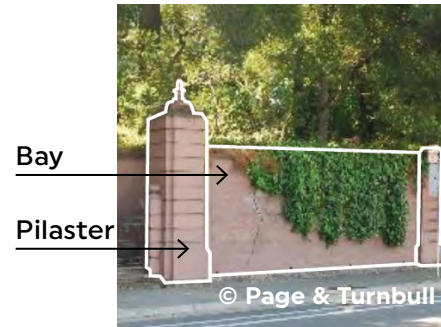
**Figure 3.4:** Landscape character surrounding Carriage House

## 3.2 Broadway Wall + Stairs

The Broadway Wall demarcates the western edge of the site, for both the Early Estate Period and the California College of the Arts Period, and remains a link between those eras. The primary entrance, the Broadway Stairs, have historically maintained their role as the campus centerline directing visitors towards Macky Hall.

Limited changes as described in the following guidelines in this section allow for minor Broadway Wall interventions to provide accessibility to the site and its publicly-accessible open spaces, to improve the pedestrian experience along Broadway, and acknowledge the history this feature held in both eras.

### TERMS



- **BAY:** Volume of wall between the pilasters.
- **PILASTER:** Rectangular columns, typically taller than the bays, that generally connect two bays or work as framing mechanisms for an entrance or opening of the wall.
- **CARRIAGE ENTRANCE:** The only vehicle entrance, originally designed for carriages, along the Broadway Wall. Currently made up of two pilasters

similar to those along the rest of the Broadway Wall—though taller and are connected by a metal arch (installed in the 90s to replace the circa 1950s wood sign), metal plaques, and original two-leaf wrought iron gates.

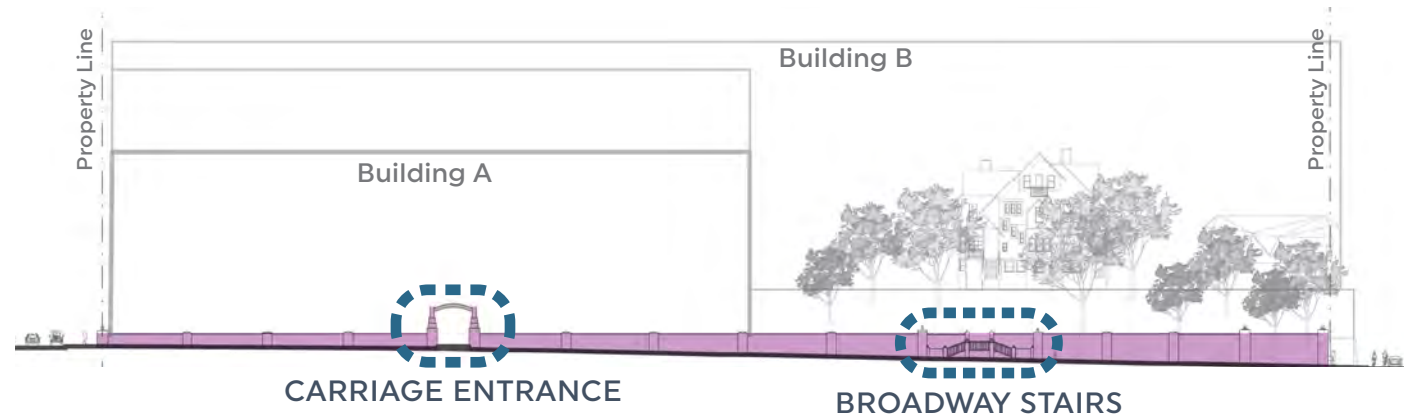
- **CARRIAGE GATES:** The original two-leaf wrought iron gates that open and close at the Carriage Entrance.
- **BROADWAY STAIRS:** The formal pedestrian entrance into the once residential estate located along the southern half of the Broadway Wall.



## BROADWAY WALL COMPONENTS

### 3.2.1 BROADWAY WALL RETENTION AND REHABILITATION.

The Broadway Wall and Stairs, and their components, with limited exceptions as noted in the following guidelines, shall be retained. All parts of the Broadway Wall and Stairs retained should be rehabilitated in compliance with the Secretary of the Interior's Standards. The original design of the remaining bays, pilasters, Broadway Stairs, and Carriage Entrance shall be maintained where not in conflict with the below guidelines nor modifications to meet the minimum code compliance and repair requirements.



**Figure 3.5:** Broadway Wall and Stairs, and their components

**3.2.2 BROADWAY WALL OPENINGS.** The current openings along the Broadway Wall—those of the Broadway Stairs and the Carriage Entrance—must remain as means of access into the site. See Guideline 3.2.4 for further guidance on if the location of the

See Figure 3.5 for all components of the Broadway Wall.

**3.2.3 CARRIAGE ENTRANCE.** The Carriage Entrance character defining features shall not be altered at the time the Carriage Entrance is refurbished or relocated per Guideline 3.2.4. Character defining features of the entrance include the concrete pilasters, CCAC plaques, and wrought iron gates,

Carriage Entrance is moved.

as illustrated in Figure 3.6. The metal posts and adjoining metal arch are not original to the design of the entrance and may be removed or replaced. If replacing the metal posts and adjoining metal arch, only the wood sign used during the 1950s through 1970s is permitted. The existing width of the Carriage Entrance opening shall be maintained.

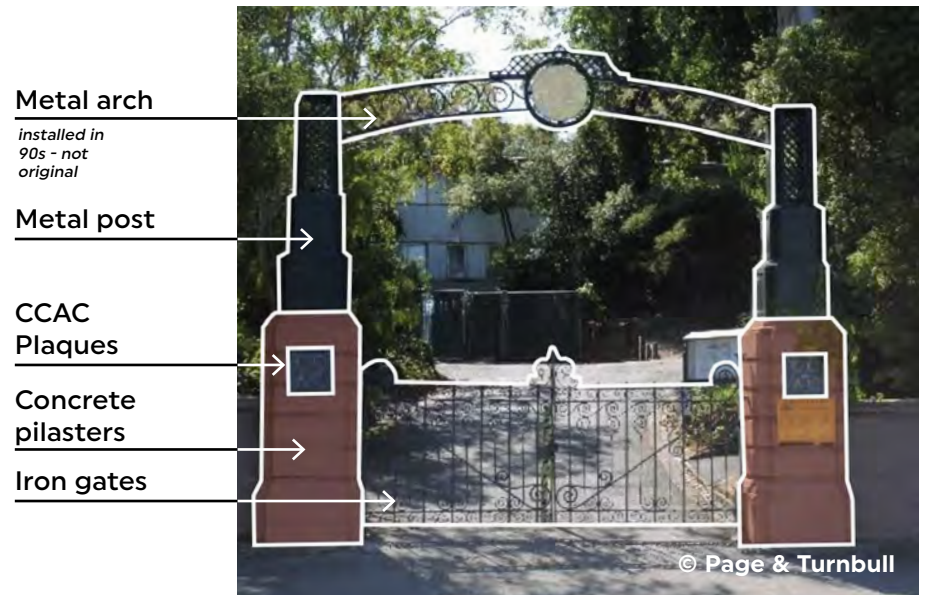
**3.2.4 CARRIAGE ENTRANCE LOCATION.** The Carriage Entrance location may be moved within the Broadway Wall to align with new Building A access and ground floor commercial uses along Broadway. If moved, one bay shall remain solid on both sides of the Carriage Entrance.

If the Carriage Entrance is relocated along Broadway, it should maintain a minimum distance of three bays from the Broadway Stairs and two bays from the northernmost end of the Broadway Wall, and the Carriage Entrance must be centered between pilasters with equal width bays on both sides of the entrance (north and south).

The previous location of the Carriage Entrance

should be replaced with bays and pilasters to match as close as possible the remaining pilaster rhythm. This previous original location is to be memorialized by introducing a slight variation in detailing, material, or texture of the Broadway Wall at the infill zone.

**3.2.5 OPEN SPACE EAST OF THE CARRIAGE ENTRANCE.** If the Carriage Entrance is moved per Guideline 3.2.4, space located directly east of the Carriage Entrance for a minimum of six feet should remain unplanted and unobstructed to experience the historic nature of the opening and allow for unobstructed entrance into ground floor programming of adjacent new buildings



**Figure 3.6:** Carriage Entrance and its components

## **BROADWAY WALL INTERVENTIONS**

**3.2.6 NEW OPENINGS IN THE BROADWAY WALL.** A maximum of one new opening may be created in the Broadway Wall to allow for access to Building A and a maximum of one new opening in the Broadway Wall may be created to allow for access to the publicly-accessible open space in accordance with the American with Disabilities Act (ADA).

New openings shall be no more than one foot wider than required by codes, laws, and regulations, and must be visibly narrower than the Carriage Entrance.

If Carriage Entrance moves, per Guideline 3.2.4, the new location to hold the relocated

Carriage Entrance shall be considered a new opening.

**3.2.7 COMMEMORATION OF REMOVED BROADWAY WALL SEGMENTS.** The footprint of any removed portions of the Broadway Wall shall be commemorated. Examples of commemoration methods include in-place markings, changes in material or pattern, or installation of a new feature, such as flush lighting at grade.

**3.2.8 BROADWAY WALL PILASTER RETENTION.** The original spacing and rhythm of the pilasters are to be retained. If a pilaster must be removed to achieve a permitted intervention to the Broadway Wall and its elements, its location must be

commemorated in conjunction with Guideline 3.2.7.

**3.2.9 BROADWAY WALL BAY MODIFICATIONS.** The Broadway Wall north of the Broadway Stairs may allow for a maximum of 25 percent of its length to incorporate either seating elements on either side of the wall and /or to lower the bay height for visibility and safety of pedestrians on the east side of the wall (such as instances where ADA access is being provided on the east side of the wall and the wall exceeds eye level). Seat wall interventions may be combined with other Broadway Wall interventions and shall maintain complementary, nonobtrusive materials. Refer to Guideline

3.2.11 for appropriate materials.

**3.2.10 VISUAL PROMINENCE OF THE BROADWAY WALL.** Design of new openings or seating elements in the Broadway Wall should be visually secondary to the Broadway Wall itself.

## MATERIALS AND VEGETATION

### 3.2.11 BROADWAY WALL INTERVENTION MATERIALS.

The material(s) used in interventions or modifications to the Broadway Wall and Stairs should be cohesive or complementary. Concrete is preferred, but earthen or raw materials, such as Corten or wood, are also permitted.

### 3.2.12 BROADWAY WALL VISIBILITY AND GREENING LIMITS.

Planting is permissible on the east edge of the Broadway Wall in the form of planters, vines, or as ground cover. Refer Guideline 3.6.3 for suitable planting. Overhanging vines from the eastern side to the western side are

permissible, however, 50 percent of the overall length of the western edge of the Broadway Wall must be clear of any planting. Planting shall not be allowed to block any access paths or entrances, including the Carriage Entrance, Broadway Stairs, or any additional openings.

### 3.2.13 BROADWAY WALL INTERFACE.

Planting and circulation are permitted adjacent to the east side of the Broadway Wall. Due to the grade change from the open spaces to the sidewalk on Broadway, landscape features of grading and guardrails should be considered to provide safe pedestrian experiences within the publicly-accessible open spaces. If included, guardrails shall not be

an opaque plaque that appears to extend the height of the Broadway Wall or hover over it.



### 3.3 Additional Historic Landscape Features

Guidelines in this section address retaining and siting of contributing landscape features, for both the API and the Oakland Landmark, respectively. These features are outlined in Chapter 1: Vision and include Macky Lawn, Macky Hall View Corridor (View Corridor), the Faun Sculpture, Stairs with Ceramic Pots, Infinite Faith, Bell Tower, and Celebration Pole.

**3.3.1 MACKY LAWN RETENTION.** Macky Lawn shall be maintained as a gradually sloping, open grass lawn at roughly 8,000 square feet—the approximate size of the existing Macky Lawn. Additional trees and smaller plantings are permitted along the perimeter of Macky Lawn to frame this open space and maintain its role as the front lawn to Macky Hall and the main social space within the site, in keeping with landscaping of the California College of the Arts Period landscape. Refer to Section 3.6 for additional guidelines on planting requirement considerations for Macky Lawn.

**3.3.2 MACKY HALL VIEW CORRIDOR.** The View Corridor—as described

in the HRE as a 80-foot-wide corridor centered on Macky Hall's primary western entrance and extending to Broadway— contributes to Macky Hall as the primary structure on site and the Broadway Stairs as the primary pedestrian entrance on site—shall be retained during the redevelopment of the site. The View Corridor may be further accentuated with plantings to frame the view.

**3.3.3 MACKY HALL APPROACH.** Open space design between the Broadway Stairs, Macky Lawn, and Macky Hall, should emphasize the main entry and porch of Macky Hall and the main entrance to the site at the Broadway Stairs—

as evident in the Early Estate Period and the California College of the Arts Period. No new structures or buildings shall impede physical or visual connection from the Broadway Stairs to Macky Hall.

**3.3.4 RETENTION OF API CONTRIBUTING LANDSCAPE FEATURES.**

A minimum of four of the five remaining API contributing landscape features listed in the HRE—the Faun Sculpture, Stairs with Ceramic Pots, Infinite Faith, Bell Tower, and Celebration Pole—shall remain within the publicly-accessible open space of the site. If relocated, historic landscape features should be sited in keeping with their setting—including

visibility and relationship to surrounding plantings—during the California College of the Arts Period. Refer to Figure 3.1 for imagery of contributing landscape features.

**3.3.5 RETENTION OF CARNEGIE BRICKS.**

Carnegie Bricks are encouraged to be retained as a contributing landscape feature to the Oakland Landmark. If retained, Carnegie Bricks may be reused in other locations within the site, though they are encouraged to be reused in a similar setting as originally used during the Early Estate Period.

**3.3.6 ADDITIONAL ART RETENTION.**

A minimum of four additional art and artifacts shall be retained in the publicly-accessible

open space of the site, in addition to those required in Guideline 3.3.1, Guideline 3.3.5, and Guideline 2.6.12. Examples of art and artifacts may include but are not limited to found sculptures from the California College of the Arts Period, machinery used for art creation, new sculptures or murals (as a feature in the landscape or on adjacent building elevations), landscape installations, and salvaged building elements from California College of the Arts Period buildings.

**3.3.7 CARRIAGE ENTRANCE SIGN.**

It is encouraged that the wood sign used to mark the Carriage Entrance to the California College of the Arts and Crafts

in the 1950s to 1970s be retained, rehabilitated, and reused within the site.

## 3.4 Commemoration + Heritage Trees

### COMMEMORATION

#### **3.4.1** **COMMEMORATION OF CALIFORNIA COLLEGE OF THE ARTS PERIOD BUILDINGS.**

It is encouraged to commemorate California College of the Arts Period buildings that are removed from the site. This can be accomplished by strategies including, but not limited to, demarcating existing building footprints into new landscape features through landscape materials, lighting, or signage.

**3.4.2** **COMMEMORATION OF SITE HISTORY.** The site should include a publicly-accessible indoor or outdoor space to display and exhibit the site's history.

### HERITAGE TREE PRESERVATION

**3.4.3** **HERITAGE TREES.** All healthy and mature, non-invasive trees on site that can be feasibly retained shall be included in the planting plan for the site to provide a sense of the long-standing history of the site and contribute to the characteristics of framing Macky Lawn, Macky Hall, and the associated View Corridor. These retained heritage trees are encouraged to remain in their current locations, with exceptions to allow transplantation within the site for accessibility of the site and new building footprints.

**3.4.4** **NEW BUILDINGS SETBACK FROM HERITAGE TREES.** Any newly constructed building is encouraged

to be set back a minimum of 12 feet from the dripline of heritage trees. If a newly constructed building is within 12 feet of a heritage tree's dripline, an arborist shall provide written approval of strategies to protect tree health during construction.

**3.4.5** **REUSE OF REMOVED HERITAGE TREES.** Timber from any heritage or any other large trees that are removed is encouraged to be reused within the site.

**3.4.6** **REUSE OF REMOVED SEQUOIA TREES.** It is encouraged to reuse the two Sequoia stumps that were once contributing landscape features to the Early Estate Period) that were removed for poor health in 2019. Reuse of the two

stumps is encouraged by but not limited to materials for furnishings or landscape features to reference their history on site through educational signage or interpretive markings.

# OPEN SPACE ELEMENTS

The site is providing a publicly-accessible open space for the local North Oakland community. The guidelines in this section speak to the open space design response to the contextual and historic influences of the site, previously outlined in Chapter 1: Vision.



**Figure 3.7:** Examples of open space characteristics and programming



## 3.5 Character + Programming

The section is organized into the following open space elements:

- **PROGRAM AREAS:** Key open spaces that respond to the characteristics of the California College of the Arts Period landscape.
- **CONNECTIONS + VIEWS:** This section prioritizes a circulation network that is well connected to main entrances and open space program areas and emphasizes important visual connections to and from the site.
- **ARTS + EDUCATION:** The site honors the monumental role of CCA in expanding the arts and crafts education to California and aims to maintain that legacy in the next century through programming and design of the open spaces.

**3.5.1 OPEN SPACE PROGRAM AREAS.** In addition to retaining Macky Lawn and the Macky Hall View Corridor (Section 3.3), the project also requires the following open space program areas which support the characteristics of the California College of the Arts Period:

- Neighborhood Paseo is a primary pedestrian connection between Clifton Street and Macky Hall and Macky Lawn. Similar to the California College of the Arts Period landscape, the Paseo shall provide a view from Clifton Street to Macky Hall and shall be a minimum of 40 feet wide, see Figure 3.8.
- Central Plaza is between primary entrances to Buildings

A and B and the east entrance to Macky Hall, California College of the Arts Period plaza east of Macky Hall, see Figure 3.9. It shall be located adjacent to Macky Hall and shall have a minimum size of 5,000 square feet.

**3.5.2 NATURE DISCOVERY AND PLAY.** To provide programming for education, similar to how the site performed during the California College of the Arts Period, a play area shall be provided within the publicly-accessible open space and shall be prohibited within 30 feet of the Carriage House, which historically was not surrounded by activity. The use of natural materials—as described in Guideline 3.6.9—are encouraged to provide sensory learning

and education of the local ecology through the integration of play and nature. The play area is encouraged to be greater than 2,000 square feet.

**3.5.3 TRANSITION SPACE AT RESIDENTIAL ENTRANCES.**

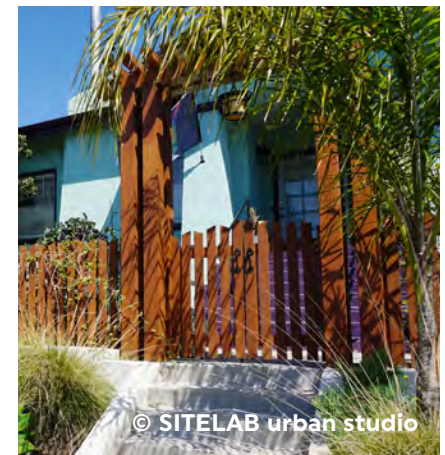
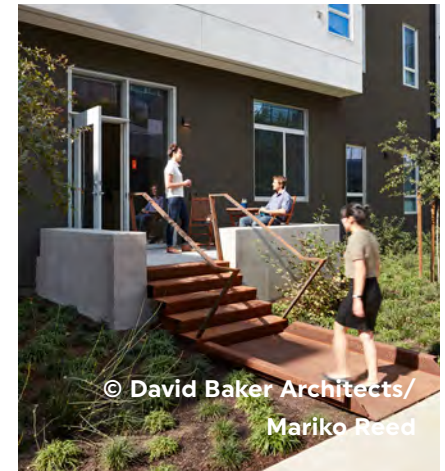
Where ground level private residential unit entries are provided at interfaces with publicly-accessible open space or public streets, a transition space ranging from four to eight feet in depth shall be provided. Elements such as stoops, porches, trellises, or gardens are encouraged to define entries, similar to the design elements of Rockridge architecture. See Figure 3.10 for examples of such spaces.



**Figure 3.8:** Examples of paseos



**Figure 3.9:** Examples of plazas



**Figure 3.10:** Transition space at residential entrance examples

## CONNECTIONS + VIEWS

**3.5.4 PRIMARY PEDESTRIAN PATHS.** A network of primary paths shall serve as the main circulation route through the publicly-accessible open spaces generally in keeping with the primary circulation patterns in the California College of the Arts Period landscape. Primary paths shall have a minimum width of 8 feet and connect site entrances, primary building entrances, and open spaces described in Guideline 3.5.1

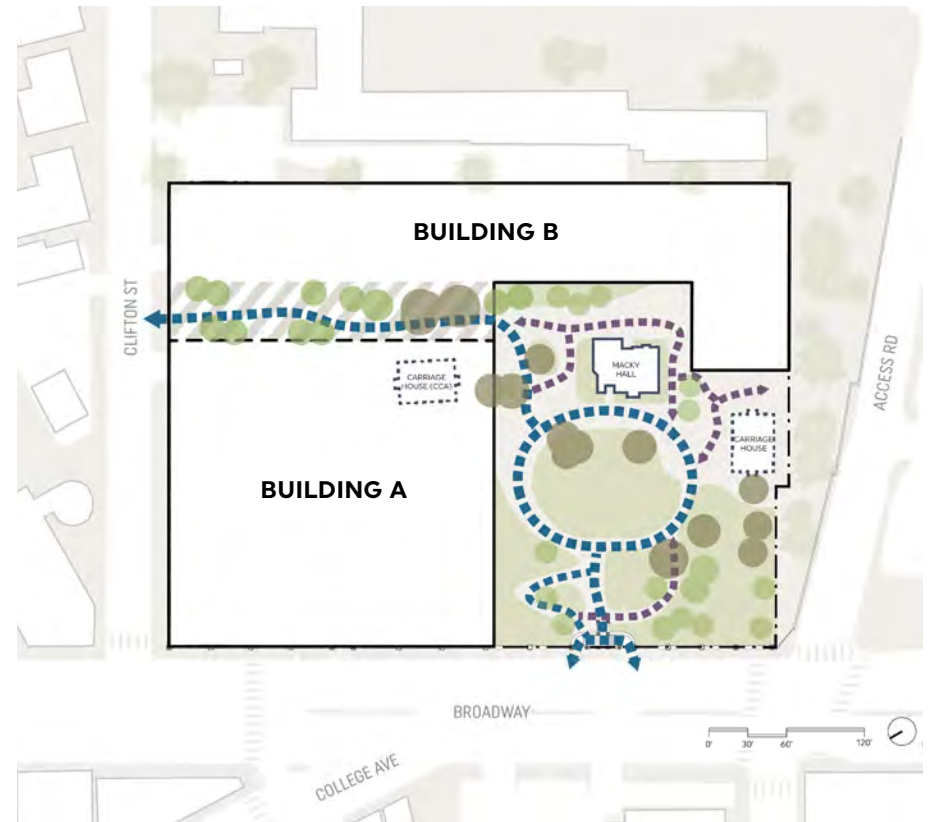
A primary pedestrian path is required in the following locations in keeping with the California College of the Arts Period primary pedestrian paths:

- Connecting north

to south within the Neighborhood Paseo from Clifton Street to Macky Hall and have a minimum unobstructive width between 10 and 20 feet

- Connecting west to east from the Broadway Stairs, around Macky Lawn, and connecting to the primary west-facing entrance to Macky Hall. Refer to Figure 3.11.

**3.5.5 SECONDARY PEDESTRIAN PATHS.** A network of secondary paths shall provide small scale connections that meander through the landscape—a characteristic of the California College of the Arts Period described in the HRE. Secondary paths shall have a maximum width to 8 feet and are encouraged



**Figure 3.11:** Circulation network of pedestrian paths

■ ■ *Primary pedestrian path*

■ ■ *Secondary pedestrian path*

to connect to secondary entrances of Buildings A and B, the Carriage House, Macky Hall, and through the heritage trees, plantings, and art displays. Refer to Figure 3.11.

**3.5.6 FRAMED VISTAS.** A minimum of two framed vistas shall be provided in the publicly-accessible open space, creating prominent vistas of Downtown Oakland, Berkeley, College Avenue, and the Bay. Vistas are encouraged to be framed with tree canopies and native planting.

**3.5.7 VEHICULAR ACCESS AND DROP-OFF.** Vehicular access should be restricted through the north edge of the site, similar to the existing campus vehicular access. Vehicular drop-off is

permitted along Clifton Street, so long as it connects to a primary pedestrian pathway that leads into the rest of the site, similar to the existing campus vehicular access.

## ARTS + EDUCATION

**3.5.8 NEW ART.** New artwork is encouraged to be integrated into vegetation along pathways in the publicly-accessible open space similar to how art is displayed in the California College of the Arts Period campus.

**3.5.9 ARTS AND EDUCATIONAL PROGRAMMING.** Arts and educational programming within the open space are encouraged, in the keeping with the teaching, making, and learning activities of the California College of the Arts Period.

**3.5.10 EDUCATIONAL SIGNAGE.** Signage highlighting the site's California College of the Arts Period history and significance shall be

included throughout the landscape. Locations for signage may include but are not limited to locations where historic buildings stand or stood (such as, Macky Hall, Carriage House, Founders Hall, Noni Eccles Treadwell Ceramic Arts Studio, Martinez Hall, and Barclay Simpson Sculpture Studio).



## 3.6 Performance and Planting

This section's guidelines are organized into the following two sections: Ecology and Planting and Material Palette, respectively and provide guidance for the design's response to the College of the Arts Period landscape and contextual influences of the neighborhood.

- **ECOLOGY + PLANTING:** Guidance in maintaining layered planting of the College of the Arts Period landscape. To respond to the local ecology, sustainability measures are also provided.
- **OPEN SPACE MATERIALS:** Landscape materials create an overall cohesive character to the site and are influenced by materials of the California College of the Arts Period landscape.

### ECOLOGY + PLANTING

**3.6.1 PRIORITY PLANTING ZONES.** The site will incorporate vegetation throughout. A concentration of greenery (such as in the form of denser planting or large trees) shall be targeted in the following areas as seen in Figure 3.12, to respond to context on College Avenue and the visibility of this new open space to the surrounding neighborhood:

- Open space visible from College Avenue to signal the presence of publicly-accessible open space
- The southwest corner of the site visible from Broadway to similarly signal the open space
- Tree canopy coverage is encouraged south

and west of Macky Lawn to increase shade and wind protection similar to the California College of the Arts Period

Refer to Guidelines 3.1.2 and 3.1.5 for further guidance on planting along the south edge of the site next to Macky Hall and Carriage House.

**3.6.2 NEIGHBORHOOD PASEO PLANTING.** A continuous tree canopy is encouraged from Clifton Street to Macky Hall along the Neighborhood Paseo, integrating any heritage trees similar to the planting in the California College of the Arts Period landscape. Landscaping should maintain clear views from Clifton Street toward Macky Hall.

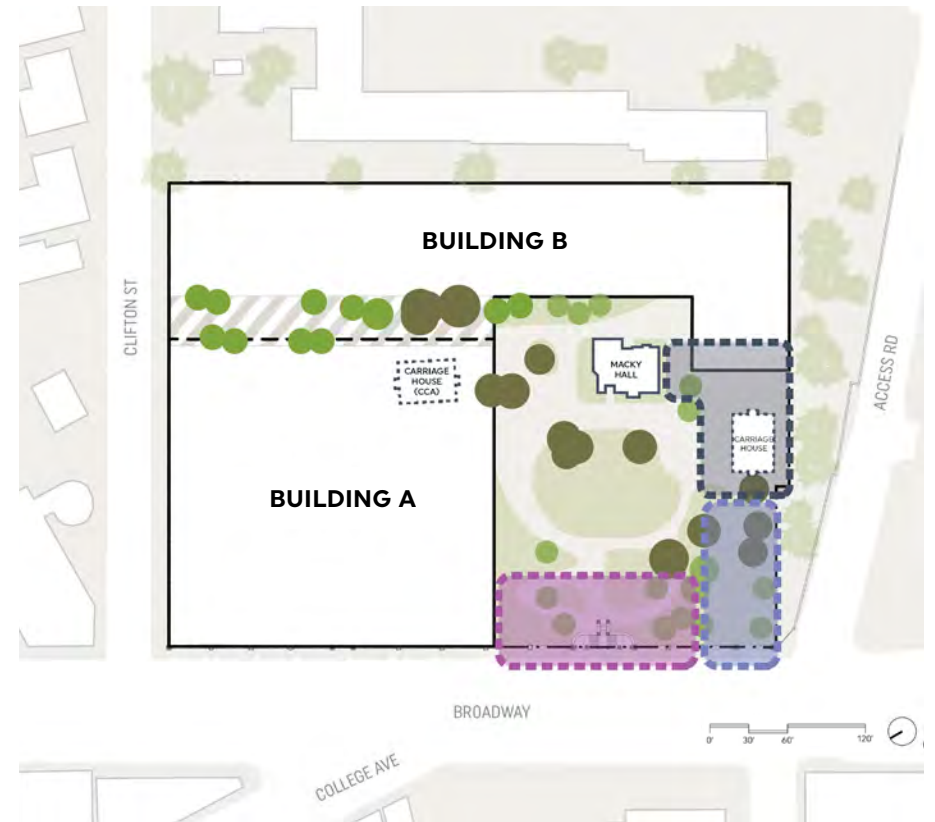
**3.6.3 ENHANCED REGIONAL ECOLOGICAL SYSTEMS.** The tree and planting palette of the site should be representative of the regional planting profile in response to the local context. The tree and understory planting plan are encouraged to aid in the expansion of the habitat patch and riparian canopy from Rockridge Branch Creek, currently within the Claremont Country Club.

**3.6.4 PLANT SPECIES.** The planting palette shall include drought-tolerant and native species and is encouraged to relate to the retained planting from the California College of the Arts Period.




**3.6.5 PREFERRED TRELIS PLANTING.** Planting, particularly vines, is

encouraged along areas with trellises and other secondary structures along open space to provide a vegetated transition in scale and privacy to new buildings and ground floor residential units, similar to the character of transitions in Rockridge architecture. Refer to Guideline 3.6.4.

**3.6.6 LIMITED LAWN.** The use of lawn as groundcover shall be prohibited in the publicly-accessible open areas of the site, except in Macky Lawn—the primary social commons of the site (see Section 3.3), in keeping with the California College of the Arts Period landscape. Groundcover in other areas should utilize native and drought-tolerant species.



**Figure 3.12:** Priority planting zones

-  *Planting zone visible from College Avenue*
-  *Planting zone in southwest corner*
-  *Planting zone surroundings Macky Hall and Carriage House*

## MATERIAL PALETTE

### **3.6.7 PREFERRED OPEN SPACE MATERIALS.**

Materials used in open spaces (hardscaping, furnishings, play features, etc.) should be chosen for their texture, color, aggregate, and finish. Natural, handcrafted materials are encouraged over manufactured or artificial materials, particularly in open spaces adjacent to historic resources. Passersby should be able to perceive the raw material qualities rather than an altered appearance as is consistent with both contextual Arts and Crafts Style Gardens and the California College of the Arts Period landscape.

While present during the California College of the Arts Period, asphalt is a prohibited material within the site to reduce the urban heat island effect.

### **3.6.8 PROHIBITED HARDSCAPE MATERIALS.**

While present during the California College of the Arts Period, asphalt is a prohibited material within the site to reduce urban heat island effect.

### **3.6.9 PREFERRED MATERIALS FOR NATURE AND DISCOVERY PLAY.**

The play area defined in Guideline 3.5.2 shall use natural materials where possible, such as but not limited to wood, bark, rock, rope, and stone.

### **3.6.10 COLOR PALETTE.**

Similar to the color palette of the California College of the Arts Period

landscape materials, natural and earthen tones with key moments within the landscape dedicated to display of arts are encouraged, similar to the color palette of the California College of the Arts Period landscape.

### **3.6.11 MATERIAL APPLICATION.**

In reference to the variety of materials and paving patterns layered into the California College of the Arts Period landscape, materials within the landscape are encouraged to have different material applications where pathways, open space program areas, and other open space elements. Change in material application may be achieved through

at least one of the following: material, color, rhythm, or pattern.

**3.6.12 MATERIAL REUSE.** Reuse of elements pre-existing on the site in means that carry forward the history of design, art, and craft education—as seen during the California College of Arts Period—is encouraged. Pre-existing elements include salvaged pieces of California College of the Arts Period buildings, removed trees, and the sequoia tree stumps noted in Section 3.4. Reuse can include but is not limited to landscape furnishing and signage.



CALIFORNIA COLLEGE OF THE ARTS  
OAKLAND CAMPUS SITE

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## IMPLEMENTATION CHECKLIST

WORKING DRAFT 4

OCTOBER 2022

### TABLE OF CONTENTS:

- [17.136.075 C, 3](#) - Demolition or Removal of PDHP Design Review Findings
- [17.136.070 \(C\)](#) - Special Regulations for Designated Landmarks



**17.136.075 C, 3:** Regulations for Demolition or Removal of Potentially Designated Historic Properties:

The design of the replacement project is compatible with the character of the district, and there is no erosion of design quality at the replacement project site and in the surrounding area. This includes, but is not necessarily limited to, the following additional findings:

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**Criteria i:** The replacement project is compatible with the district in terms of massing, siting, rhythm, composition, patterns of openings, quality of material, and intensity of detailing;

*Intent:*

- Siting of of new construction buildings within similar footprints and site coverage of the California College of the Arts Period campus, such as:
  - New construction takes place on north and east side of the site, leaving surrounding area predominantly landscaped
  - Macky Hall is rehabilitated within its existing footprint and Carriage House is sited in similar orientation, separation and elevation from Macky Hall, and setting as during California College of the Arts Period in keeping with Secretary of the Interior's Standards
  - Vehicular access is limited to along Clifton, similar to the California College of the Arts Period vehicular access.
- New construction demonstrates spatial relationships as seen in existing buildings, such as:
  - New construction is setback from Macky Hall and Carriage House similar to their relationship to California College of the Arts Period buildings
  - New construction must maintain a similar separation between buildings as seen with the California College of the Arts Period campus
  - Various finished floor and entry elevations on sloped topography
  - Setback and height reductions surrounding Macky Hall consistent with the scale of California College of the Arts Period buildings
- New construction demonstrates a similar design quality to the twelve existing buildings and landmark buildings retain their design quality, such as:
  - Massing adjacent to Macky Hall reference its width and frame the landmark building as the primary building on site
  - Rehabilitation the exterior and interior architectural designs of Macky Hall and Carriage House to the Secretary of Interior's Standards

- New building elevations create defined building bases similar to the one to two story existing buildings through change in planes, horizontal elements, or material change.
- Fenestration composition is organized in linear grids consistent with the modernist architecture of the California College of the Arts Period architecture.
- Openings of increased depth to accentuate building details and generate stronger shadow lines consistent with existing buildings.
- The preferred facade material palette references California College of the Arts Period architecture.
- Exposed structural elements and material transitions accentuate design quality and the beauty in construction assembly, Similar to the California College of the Arts Period architecture.
- Materials and enhanced open depths reference Rockridge architecture:
  - Two primary materials, plaster and brick, reflect neighborhood buildings
  - Layered in tactile material application (wood decorative metal, ceramic tile, and textured concrete) at ground floor levels
  - Limit the scale of glazing and ensure depth of openings is provided to avoid flat facades.
- Reduce perceived scale of bulk and massing in mid-rise volumes and design facades to reflect widths of nearby residential mid-rise buildings

Applicable Guidelines:

G#	GUIDELINE	COMPLIANCE SUMMARY
2.1.1	Macky Hall location. To maintain the historic significance and integrity of Macky Hall’s location, Macky Hall is to be maintained in its current location and on its existing footprint, as recorded in the HRE and as listed on the National Register.	
2.1.2	Carriage House relocation. Carriage House shall be permitted to be relocated so long as the move does not interfere with its status as a contributor to the National Register site per Criteria Consideration B by maintaining “compatibility in orientation, setting, and general environment” with the Early Estate Period and California College of the Arts Period. Required conditions of relocation include each of the following categories, focused on maintaining the Carriage House’s subsidiary relationship to Macky Hall: <ul style="list-style-type: none"> <li>• Orientation: If relocated, the Carriage House should be oriented in either its Early Estate Period or California College of the Arts</li> </ul>	

	<p>Period alignment, with the primary entrance facing south or west.</p> <ul style="list-style-type: none"> <li>• Location: Carriage House shall maintain horizontal separation to Macky Hall of no less than 40 feet and no greater than 120 feet. Carriage House shall not be permitted within the Macky Hall View Corridor (see Section 2.3).</li> <li>• Elevation: If Carriage House is located further east from its HRE-identified location—approximately aligned with the primary elevation of Macky Hall—the ground floor of Carriage House shall be lower than the finished floor elevation of the main level of Macky Hall. If located further west from the HRE-identified location, the finished floor elevation of the ground floor of Carriage House shall be lower than the finished floor elevation of the basement level of Macky Hall.</li> <li>• Setting: If relocated, Carriage House shall avoid referencing other historic conditions and must avoid creating a false historic setting reference. If relocated where a California College of the Arts Period building has been removed, the site design should emphasize a relationship to the historic conditions of the Carriage House rather than the historic building footprint of the removed structure. As an example, if relocated to the former footprint of Founders Hall, reference to the Founders Hall footprint should be avoided to limit confusion. Additionally, there should be a clear visual separation between the Carriage House and new buildings on Building B, which may be created through landscape design strategies such as a planted buffer or change in topography. If the Carriage House is located further west than Macky Hall, the Carriage House should be screened from prominent visibility from Broadway; this can be accomplished with light vegetation. For landscape and planting guidelines adjacent to Carriage House, refer to Section 3.4.</li> </ul>	
2.1.3	<p>Carriage House structural improvements for relocation. If relocating, structural upgrades shall be allowed to ensure stability before, during, and after the relocation process. The exterior appearance may not be altered in any structural improvements, refer to Guideline 2.3.4.</p>	
2.2.1	<p>Macky Hall primary access. The west porch at Macky Hall has been the historical primary entrance. As such, the entrance at the west elevation shall remain operable, even if it is not the primary entrance, with interior access to the main ground floor space. It shall not be</p>	

	<p>permanently closed or partitioned off on the interior. The porch on the east side—which has been altered in the past and is now the accessible entry— may only be changed to accommodate building occupancy or code requirements. Refer to Figure 2.4 for the primary access to Macky Hall.</p>	
2.2.3	<p>Carriage House code modifications. Modifications for ADA access to Carriage House and its second level shall be permitted, as the current stairway is not original to the structure and does not contribute to its significance. Where exterior circulation elements such as stairs, ramps, or elevators are added, they should be designed simply and should generally be protected from views such as seen from Macky Lawn and the primary entrance to Macky Hall. Modification to add an accessible restroom to the first level shall be permitted. If an exterior circulation addition has an elevator or other visually significant element, that addition shall not be conspicuous from Macky Hall and the Macky Lawn and should not require alterations to the exterior design of the Carriage House, see Guideline 2.3.4.</p>	
2.3.1	<p>Macky Hall design, materials, and workmanship. During permitted exterior modifications, the design, materials, and workmanship of Macky Hall shall be maintained as recorded in the HRE and the National Register according to Secretary of the Interior’s Standards. Strategies include, but are not limited to:</p> <ul style="list-style-type: none"> <li>• Repairing features and materials that can feasibly be retained (Instead of replacing them)</li> <li>• Using the same or in-kind materials, colors, and textures</li> <li>• Maintaining fenestration patterns and style</li> <li>• Maintaining siding and trim</li> <li>• Continuing the use of the vernacular or associated architectural style of Macky Hall. Refer to Figure 2.5 for aspects of craft.</li> </ul>	
2.3.2	<p>Macky Hall windows. The windows of Macky Hall may be reglazed if an energy analysis of the building shows that alternative measures would be less effective in reducing energy use. If greater energy or sound performance is needed, the addition of a second interior sash may be added if it aligns with the existing frame and glazing while remaining visually secondary to character-defining features.</p>	
2.3.3	<p>Macky Hall exterior paint. Color schemes may be based on historical</p>	



	analysis of the building by a paint conservator. The existing color scheme may be retained without study.	
2.3.4	<p>Carriage House design, materials, workmanship. The following building elements of the Carriage House shall not be altered in the site nor any relocation of the Carriage House:</p> <ul style="list-style-type: none"> <li>• Exterior walls and roof</li> <li>• Facade composition except for new openings per Guideline 2.3.5</li> <li>• Architectural details such as siding, brackets, and trim, as shown in Figure 2.5.</li> </ul>	
2.3.5	<p>Carriage House new openings. New openings shall be permitted if designed consistently with the historic character of the building in size and trim. New openings should not interfere with the building's ability to convey retained character-defining features as identified in the HRE. New openings shall be prohibited on the primary building facade (facing south as identified in the HRE). New openings may be permitted on the largely blank east, north, or west elevations if required by code or for programmatic need but should not be more prominent in their design than remaining openings.</p> <p>A larger opening shall be permitted along the HRE-identified east facade in keeping with the size and design of the Early Estate Period carriage entrance—approximately eight feet wide by eight feet tall centered on the dormer above, refer to Figure 2.7. New openings shall maintain a relationship between the Carriage House and Macky Hall.</p>	
2.3.6	<p>Carriage House exterior paint. Color schemes shall be based on historical analysis of the building by a paint conservator. The existing color scheme may be retained without study. The paint color of Carriage House should match the same era of color Macky Hall is painted to avoid a juxtaposition of historic colors that never occurred.</p>	
2.3.7	<p>Carriage House interior partitions. Removal of non-structural interior partitions, which were not original to the building, is encouraged to maintain a large open space floor plan for both floors. Additionally, openings in the floor of the upper level of the building shall be permitted up to one-third of the floor area for internal stairs or double-height space. Unless it is deemed to conform with the</p>	

	Secretary of the Interior’s Standards for Rehabilitation or based on documentation of conditions during the period of significance, the interior shall not be subdivided into spaces smaller than the existing ones nor shall the second floor be removed.	
2.5.1	Cumulative building footprint. Approximate to the percentage of the existing campus covered by buildings and asphalt, the cumulative building footprint of new buildings and rehabilitated historic landmarks—Macky Hall and Carriage House—shall not exceed 55 percent of the site area.	
2.5.2	New building location. Similar to the site coverage and siting of California College of the Arts Period building footprints, new buildings are only permitted within the boundaries described in Guidelines 2.5.3 and 2.5.4, respectively.	
2.5.3	<p>Building A boundary. Building A boundary shall be defined by the following edges:</p> <ul style="list-style-type: none"> <li>• North: the site boundary at Clifton Street</li> <li>• East: alignment with the east facade of Macky Hall</li> <li>• South: a minimum of 80 feet from the north facade of Macky Hall</li> <li>• West: the site boundary at Broadway</li> </ul> <p>See Figure 2.11. Additionally, Building A shall not exceed 250 feet in width. Refer to Guidelines 2.5.8 and 2.5.9 for additional setbacks required to Macky Hall and Carriage House.</p>	
2.5.4	<p>Building B boundary. Building B boundary is defined by the following edges:</p> <ul style="list-style-type: none"> <li>• North, East, and South: site boundary</li> <li>• West: a 35-foot distance from the east facade of Macky Hall, except south of Macky Hall where the west facade of new buildings may extend up to alignment with the gable peak on the south of Macky Hall.</li> </ul> <p>See Figure 2.11. Refer to Guidelines 2.5.8 and 2.5.9 for additional setbacks required to Macky Hall and Carriage House.</p>	
2.5.5	Site A and B building base separation. A minimum separation of 40 feet at the building base is required between new buildings on Building A and Building B, similar to the siting of buildings in the	

	existing campus, refer to Figure 2.13.	
2.5.6	New mid-rise separation. A minimum separation of 50 feet, for a minimum of 75 percent of the Building A frontage is required between buildings on Building A and Building B for daylight access into open space between Building A and Building B, refer to Figure 2.13.	
2.5.7	Multiple structures within a buildable area. New structures located on the same buildable area shall be physically separated by a minimum of 20 feet from each other and any retained California College of the Arts Period buildings, as shown in Figure 2.12.	
2.5.8	<p>New buildings setbacks from Macky Hall. No new buildings shall be permitted within the following dimensions from the exterior building footprint of Macky Hall, as shown in Figure 2.12:</p> <ul style="list-style-type: none"> <li>• 80 feet minimum to the north</li> <li>• 35 feet minimum and an average of 40 feet to the east</li> <li>• 25 feet minimum to the south</li> </ul> <p>New buildings are prohibited to the west of Macky Hall to maintain the existing Macky Hall View Corridor, as described in Guideline 2.3.1. The above dimensions are consistent with Macky Hall’s relationship to the nearest buildings of the California College of the Arts Period.</p>	
2.5.9	<p>New buildings setbacks from Carriage House. No new buildings shall be permitted within the following dimensions from the exterior building footprint of Carriage House.</p> <p>25 feet minimum to the west  25 feet minimum to the north  40 feet minimum to the east  100 feet minimum to the south</p> <p>The above dimensions correspond to the location of Carriage House at the time of the HRE and shall translate to the respective sides of the building if relocated and reoriented (see Guideline 2.1.2). The dimensions listed are consistent with the relationship between Carriage House and the nearest buildings of the California College of the Arts Period, as shown in Figure 2.12.</p>	
2.5.13	Reduced height requirements surrounding Macky Hall. To reference the height of the buildings from the Early Estate Period and California College of the Arts Period, any component of new buildings located	

	<p>within the Macky Hall height reduction zone (as defined below) shall be limited to four stories or 45 vertical feet, whichever is less, measured from the finished floor elevation (FFE) of the main level to Macky Hall—approximately +207 feet above sea level—to top of roof. The Macky Hall height reduction zone is defined by dimensions from the exterior building footprint of Macky Hall—and reflected in Figure 2.16:</p> <ul style="list-style-type: none"> <li>• 110 feet minimum to the north (measuring approximately to the facade of Carriage House)</li> <li>• 20 feet minimum to the east (measuring approximately to the facade of Noni Eccles Treadwell building)</li> <li>• Extending to the south site boundary</li> <li>• Aligned to the west (primary) facade of Macky Hall</li> </ul>	
2.5.19	<p>Height datum reference to California College of the Arts Period buildings. Elevations of new buildings along the east edge of Building A and west edge of Building B shall relate to California College of the Arts Period architecture by expressing a height datum between 20 and 45 feet above grade for at least 70 percent of the elevation length. The height datum is encouraged to express a variety of different heights across the elevation length. Strategies for expressing a height datum include, but are not limited to:</p> <p>Change in plane, including stepbacks or projections, at a minimum depth of two feet</p> <p>Horizontal elements, including awnings or canopies, at a minimum depth of two feet</p> <p>Change in material paired with a minimum change depth of 6 inches.</p>	
2.6.4	<p>Expressed entries. To highlight primary entries in keeping with the architecture of the California College of the Arts Period buildings, commercial, educational, HBX Live-Work units, residential amenities, or lobby entries at the ground floor of new buildings are encouraged to be differentiated and pronounced through massing projections, recesses, or extended horizontal elements and any can be combined with a material change, as shown in Figure 2.21.</p> <p>Commercial or educational entries are encouraged to maintain public facing visibility by incorporating two or more of the following elements:</p>	



	<ul style="list-style-type: none"> <li>• Change in wall/window plane in relation to the primary building facade</li> <li>• Increased percentage of glazing</li> <li>• Integrated art feature</li> <li>• Horizontal projections and recesses</li> <li>• Canopies, shading devices, or awnings</li> <li>• Expressed structural elements</li> <li>• A change in material or detailing</li> <li>• Recessed doors or cased openings.</li> </ul>	
2.7.1	<p>Organization of fenestration. New building glazing units should be aligned to clear horizontal and vertical datums to create a fenestration grid consistent with the modernist architecture of the California College of the Arts Period. The rhythm of horizontal and vertical datums are permitted to shift across the length or height of the building elevation to provide flexibility in the detailed arrangement of openings. Maximum spacing for horizontal and vertical datums of fenestration grids are tied to building elevations as follows:</p> <ul style="list-style-type: none"> <li>• Along high visible edges identified in Figure 2.10, individual units of the fenestration grid shall not exceed three stories in height nor 35 feet in width to avoid large continuous expanses of glazing similar to the context.</li> <li>• Along historic adjacent edges identified in Figure 2.10, individual units of the fenestration grid shall not exceed two stories in height or 25 feet in width to not exceed the scale of Landmark buildings.</li> <li>• Along intimate conditions such as the Neighborhood Paseo and Clifton Street individual units of the fenestration grid shall not exceed one story in height nor 15 feet in width similar to the scale of residential architecture in Rockridge.</li> <li>• Along the east elevation of Building B, a fenestration grid shall not be required but the alignment of openings vertically and horizontally is generally preferred.</li> </ul> <p>Fenestration grids shall be a continuous facade material no less than one-foot in width. Continuous curtain wall systems should be avoided, as they are not common to the architectural character of Rockridge. Fenestration grid requirements do not apply to the building base. Refer to Figure 2.23 for fenestration organization and proportion.</p>	

2.7.2	<p>Proportion of fenestration at the base. The building base of new buildings shall have a higher proportion of transparency or openings than the mid-rise to encourage indoor-outdoor connections and visibility between new buildings and open spaces similar to storefronts along College Avenue and Broadway. Refer to Figure 2.23 for fenestration proportion.</p>	
2.7.4	<p>Glazing units scale. Uninterrupted glazing segments in mid-rise levels shall not exceed 24 square feet as a bird-safe design feature and to encourage the use of mullions for large openings. To the extent possible, mullions should be designed with regular horizontal spacing similar to other multi-story residential buildings along Broadway Terrace. Thin mullions are preferred. Expansive segments of the curtain wall shall be prohibited.</p>	
2.7.5	<p>Minimum window depth. All windows above the base level of new buildings shall include a minimum depth of two inches between the facade edge and glazing panel to produce a shadow line within each opening, a common feature of residential architecture in Rockridge. Contemporary applications of architectural elements that define openings including, but not limited to, lintels, sills, frames, or shading devices are generally encouraged.</p>	
2.7.6	<p>Enhanced opening depth. In priority height locations of new buildings as identified in Guideline 2.5.12, the opening depth shall exceed the baseline depth, in keeping with the architecture of the California College of the Arts Period, at mid-rise levels at a minimum of 35% of openings through one of the following strategies:</p> <ul style="list-style-type: none"> <li>• Recessed openings at a minimum depth of 12 inches between facade edge and glazing panel.</li> <li>• Additive architectural elements that protrude from the primary facade surface no less than six inches. Elements may include but are not limited to frames, lintels, sills, louvers, awnings, trellises, or shading devices. Elements must be distinguished from the primary facade system by physical separation, expressed joinery, or material change. Refer to Figure 2.24 for imagery of enhanced opening depth.</li> </ul>	
2.7.8	<p>Expressed assembly. Similar to the California College of the Arts Period buildings, design quality shall be demonstrated through the exposed assembly of material changes and structural elements. Multiple</p>	

	<p>materials within individual buildings shall be permitted. A change in material should align with massing shifts, modulation, construction of form, and programmatic expression. A change in material shall have a minimum depth of six inches. Where possible, at changes of material or at openings, expose structural elements such as beams, columns, or joinery details to convey a sense of the assembly. See Figure 2.25 for examples.</p>	
2.7.9	<p>Material palette. New buildings shall use high quality, durable materials familiar to existing California College of the Arts Period buildings at the building base. Materials should age well, express their construction, remain natural in their appearance and expression, and have an inherent tactility and visual depth.</p> <p>Preferred materials shall be applied on a minimum of 20 percent of all new building elevations facing the street or open space—excluding glazed surfaces— shown in Figure 2.10. Preferred materials include but are not limited to concrete, earthen materials and masonry (including glass block), wood, ceramics, and metal. Additional materials beyond those listed shall qualify as preferred materials if they are found in the facade of Early Estate Period or California College of the Arts Period buildings. Stucco shall not be considered a preferred material. Refer to Figure 2.26 for a preferred material palette.</p>	
3.1.1	<p>Primary facade of Macky Hall. Open space features should support the visual emphasis of the western facade of Macky Hall as its primary facade and entrance, while the east facade remains as its secondary entrance— in keeping with the setting of the building during the Early Estate Period and the California College of the Arts Period. The north and south facades should remain tertiary during redevelopment.</p> <p>Open space features to emphasize the western and eastern facades include but are not limited to framing with plantings and primary pedestrian circulation routes (defined in Section 3.5) leading to Macky Hall's primary and secondary entrances, as seen in Figure 3.2.</p>	

3.5.7	Vehicular access and drop-off. Vehicular access should be restricted through the north edge of the site, similar to the existing campus vehicular access. Vehicular drop-off is permitted along Clifton Street, so long as it connects to a primary pedestrian pathway that leads into the rest of the site, similar to the existing campus vehicular access.	
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**Criteria ii:** New street frontage includes forms that reflect the widths and rhythm of the facades on the street and entrances that reflect the patterns on the street;

Intent:

- Orientation of new construction inward toward the center of the site similar to the existing California College of Arts Period campus, such as:
  - Primary pedestrian paths guiding from Broadway and the northeast pedestrian entrance towards Macky Hall and Macky Lawn that remain at the center of the site
  - New building ground floor and mid-rise rhythms reference California College of the Arts Period buildings at facades facing the center of the site
- New building elevations create defined building bases similar to the one-to-two story existing buildings through change in planes, horizontal elements, or material change.
  - Residential stoops and horizontal elements at ground level transitions
  - Encourage building entrances along streets and open spaces
- New construction provides building base rhythm similar to College Avenue and continues active uses along Broadway:
  - Continue ground floor commercial activity along Broadway near College Avenue.
  - Use horizontal elements along Broadway and Clifton Street in response to lower scale context and articulates a rhythm that is responsive to pedestrian activity similar to College Avenue.
  - Continue streetwall on Broadway and Clifton Street corner with limited setbacks

Applicable Guidelines:

G #	GUIDELINE	COMPLIANCE SUMMARY
2.5.21	<p>Mid-Rise Facade Rhythm. Mid-rise levels for all new building elevations shall establish a rhythm of facade articulation or modulation at intervals relative to their immediate adjacencies, as shown in Figure 2.10.</p> <ul style="list-style-type: none"> <li>• For edges adjacent to intimate conditions along Clifton Street, the Neighborhood Paseo (as defined in Section 3.5), Early Estate Period buildings, or California College of the Arts Period buildings a rhythm between 25 and 50 feet in width shall be required to respond to the</li> </ul>	

	<p>approximate width of California College of the Arts Period buildings along the east side of the existing campus.</p> <ul style="list-style-type: none"> <li>• For all other conditions (including edges adjacent to Broadway, Macky Lawn, and the southern site boundary), a rhythm up to 70 feet shall be required to respond to the approximate width of lots along College Avenue.</li> </ul> <p>Mid-rise level massing that is three or fewer stories in height or setback greater than 10 feet from the site boundary shall be exempt from this requirement.</p> <p>Qualifying modulation strategies include but are not limited to:</p> <ul style="list-style-type: none"> <li>• Change in plane of 2-foot minimum depth</li> <li>• Change in orientation of greater than 20-degrees</li> <li>• Change in material or color</li> <li>• Architectural elements with greater than 2-foot minimum depth</li> </ul> <p>Where appropriate, rhythm is encouraged to reference the width of removed California College of the Arts Period buildings or landmark buildings.</p>	
2.6.1	<p>Building A use on Broadway. A minimum of 50 percent of the ground floor shall be dedicated to commercial use, educational use, or HBX Live-Work units along Broadway in order to provide continuity along the commercial corridor.</p>	
2.6.2	<p>Shared indoor and outdoor programming. Common residential spaces in new buildings, including courtyards, amenities, and lobbies, are encouraged along the publicly-accessible open spaces to encourage informal connection in keeping with how Rockridge building entries address the street. To the extent possible shared indoor and outdoor programming should encourage activation and visibility. Refer to Figure 2.10 for adjacencies to open space.</p>	
2.6.3	<p>Minimum building entries. New buildings shall provide building entries to commercial uses, educational uses, HBX Live-Work units, or common residential spaces, including courtyards, amenities, and lobbies, at minimum according to the following frequencies that respond to the approximate lot widths and entries along College Avenue:</p> <ul style="list-style-type: none"> <li>• Minimum one entry along elevations less than 70 feet in length</li> </ul>	

	<ul style="list-style-type: none"> <li>• Minimum two entries along elevations between 70 to 250 feet in length</li> <li>• Minimum three entries along each elevation greater than 250 feet in length</li> <li>• No entries are required on the east and south edges of Building B</li> </ul>	
2.6.7	<p>Defined building base. All new buildings, unless otherwise noted, shall have a defined base to respond to heights represented along College Avenue and California College of the Arts Period buildings. Strategies to define the base include the following</p> <p>Setback or extension of building base from levels above a minimum of two feet in depth</p> <p>Rhythm of increased frequency from mid-rise levels</p> <p>Horizontal elements projecting a minimum depth of two feet</p> <p>Material differentiation</p> <p>Difference in facade articulation—such as expressed bays—from levels above with a minimum depth of six inches.</p>	
2.6.8	<p>Building base rhythm. To establish a human scale relationship along pedestrian paths, new building bases adjacent to open space and streets, as shown in Figure 2.10, shall create a rhythm between 25 and 40 feet in width – similar to that of College Avenue. Rhythm shall be established through articulation strategies including, but not limited to:</p> <p>Expressed bay structure, structural element, or pilasters of a minimum six inches in depth</p> <p>Exposed columns</p> <p>Changes in plane of a minimum of one-foot in depth</p> <p>Horizontal element or trellis structural element.</p>	
2.7.1	<p>Organization of fenestration. New building glazing units should be aligned to clear horizontal and vertical datums to create a fenestration grid consistent with the modernist architecture of the California College of the Arts Period. The rhythm of horizontal and vertical datums are permitted to shift across the length or height of the building elevation to provide flexibility in the detailed arrangement of openings. Maximum spacing for horizontal and vertical datums of fenestration grids are tied to building elevations as follows:</p> <ul style="list-style-type: none"> <li>• Along high visible edges identified in Figure 2.10, individual units of the fenestration grid shall not exceed three stories in height nor 35 feet in</li> </ul>	

	<p>width to avoid large continuous expanses of glazing similar to the context.</p> <ul style="list-style-type: none"> <li>• Along historic adjacent edges identified in Figure 2.10, individual units of the fenestration grid shall not exceed two stories in height or 25 feet in width to not exceed the scale of Landmark buildings.</li> <li>• Along intimate conditions such as the Neighborhood Paseo and Clifton Street individual units of the fenestration grid shall not exceed one story in height nor 15 feet in width similar to the scale of residential architecture in Rockridge.</li> <li>• Along the east elevation of Building B, a fenestration grid shall not be required but the alignment of openings vertically and horizontally is generally preferred.</li> </ul> <p>Fenestration grids shall be a continuous facade material no less than one-foot in width. Continuous curtain wall systems should be avoided, as they are not common to the architectural character of Rockridge. Fenestration grid requirements do not apply to the building base. Refer to Figure 2.23 for fenestration organization and proportion.</p>	
3.5.3	<p>Transition space at residential entrances. Where ground level private residential unit entries are provided at interfaces with publicly-accessible open space or public streets, a transition space ranging from four to eight feet in depth shall be provided. Elements such as stoops, porches, trellises, or gardens are encouraged to define entries, similar to the design elements of Rockridge architecture. See Figure 3.10 for examples of such spaces.</p>	
3.5.4	<p>Primary pedestrian paths. A network of primary paths shall serve as the main circulation route through the publicly-accessible open spaces generally in keeping with the primary circulation patterns in the California College of the Arts Period landscape. Primary paths shall have a minimum width of 8 feet and connect site entrances, primary building entrances, and open spaces described in Guideline 3.5.1. A primary pedestrian path is required in the following locations in keeping with the California College of the Arts Period primary pedestrian paths:</p> <ul style="list-style-type: none"> <li>• Connecting north to south within the Neighborhood Paseo from Clifton Street to Macky Hall and have a minimum unobstructive width between 10 and 20 feet</li> </ul>	



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| <ul style="list-style-type: none"><li>• Connecting west to east from the Broadway Stairs, around Macky Lawn, and connecting to the primary west-facing entrance to Macky Hall. Refer to Figure 3.11.</li></ul> |  |
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**Criteria iii: The replacement project provides high visual interest that either reflects the level and quality of visual interest of the district contributors or otherwise enhances the visual interest of the district;**

Intent:

- Retaining and rehabilitating contributing landscape features (Macky Lawn, Stairs with Ceramic Pots, Faun Sculpture, Infinite Faith sculpture, Bell Tower, and Celebration Pole), such as:
  - Maintaining its slope, planting characteristics, and size of Macky Lawn
  - Additional retained art and artifacts within the open space are to be sited in a familiar context to their setting as sited in the existing California College of the Arts landscape
- New construction demonstrates differentiation and spatial relationships as seen in existing buildings through:
  - Differentiation between new buildings through material, color, or fenestration rhythm, depth, or orientation
  - Maintaining various finished floor and entry elevations on sloped topography limiting blank facades in keeping with the existing campus
- The preferred facade material palette references California College of the Arts Period architecture in keeping with the existing campus
- In the event California College of the Arts Period buildings are rehabilitated, their location, siting, and setting are protected.

Applicable Guidelines:

G#	GUIDELINE	COMPLIANCE SUMMARY
2.4.1	Preferred retained structures. Four of the California College of the Arts Period buildings—Founders Hall, Martinez Hall, Noni Eccles Treadwell Ceramic Arts Center, and Barclay Simpson Sculpture Studio—are identified by the HRE as individually eligible for the California Register and should be prioritized in the event of additional rehabilitation efforts of building retention within the site. Refer to Figure 2.8 for buildings preferred for retention.	
2.4.2	California College of the Arts Period building relocation. Relocation of existing California College of the Arts Period buildings shall be permitted to be relocated so long as they do not create a false sense	

	<p>of history in relation to Early Estate Period buildings—Macky Hall and Carriage House—nor to any other retained existing historic resource. Relocation shall be prohibited within the Macky Hall View Corridor, Macky Lawn, and any other setback requirements from Macky Hall, and Carriage House as identified in Section 2.5. Relocation shall be prohibited within 20 feet of the Broadway Wall. Relocated buildings shall maintain a consistent orientation to their existing orientation.</p>	
2.4.3	<p>California College of the Arts Period buildings' character-defining features. Character-defining features that convey its historic significance of rehabilitated and/or relocated California College of the Arts Period buildings shall not be altered to the extent feasible. If features are damaged or lost during rehabilitation or relocation, replacement of the features using the same or in-kind materials, colors, textures, and workmanship shall be required to the degree that is feasible.</p>	
2.4.4	<p>New Buildings setback from California College of the Arts Period buildings. New buildings shall be setback a minimum of 40 feet from the primary facade, see Figure 2.3.</p> <p>A minimum of 10 feet from all other facades of any retained and relocated California College of the Arts Period buildings. For minimum setback requirements surrounding Early Estate Period landmark buildings—Macky Hall or Carriage House—see Guidelines 2.5.8 and 2.5.9.</p>	
2.6.11	<p>Limiting blank walls. It is recommended that new building elevations limit blank walls on the ground floor to no greater than 20 percent of each building elevation adjacent to street or open space—refer to Figure 2.10. Blank walls are continuous stretches of greater than 25 feet without openings, vegetation, or integrated art features between three and 10 feet above grade.</p> <p>Where blank walls are unavoidable—such as steep grade changes along the hillside of the site, mitigation strategies such as public art, changes in preferred materials, planters, or planting, building integrated vegetation, or light features are encouraged. See Figure 2.26 for preferred materials palette.</p>	
2.7.7	<p>New building differentiation. Adjacent and facing new buildings shall reflect different facade systems to reflect the variety found in</p>	

	<p>California College of the Arts Period architecture. At a minimum, facade systems shall vary between all new buildings in at least two of the following ways:</p> <ul style="list-style-type: none"> <li>Material</li> <li>Finish/Texture</li> <li>Color</li> <li>Application</li> <li>Scale of rhythm or fenestration 25percent different</li> <li>Opening depth strategy</li> <li>Orientation of openings (horizontal vs. vertical)</li> </ul> <p>Additionally, each building shall incorporate a unique preferred material that the other new buildings do not.</p>	
3.3.1	<p>Macky Lawn Retention. Macky Lawn shall be maintained as a gradually sloping, open grass lawn at roughly 8,000 square feet—the approximate size of the existing Macky Lawn. Additional trees and smaller plantings are permitted along the perimeter of Macky Lawn to frame this open space and maintain its role as the front lawn to Macky Hall and the main social space within the site, in keeping with landscaping of the California College of the Arts Period landscape. Refer to Section 3.6 for additional guidelines on planting requirement considerations for Macky Lawn.</p>	
3.3.4	<p>Retention of API contributing landscape features. A minimum of four of the five remaining API contributing landscape features listed in the HRE—the Faun Sculpture, Stairs with Ceramic Pots, Infinite Faith, Bell Tower, and Celebration Pole—shall remain within the publicly-accessible open space of the site. If relocated, historic landscape features should be sited in keeping with their setting—including visibility and relationship to surrounding plantings—during the California College of the Arts Period. Refer to Figure 3.1 for imagery of contributing landscape features.</p>	



**Criteria iv:** If the design contrasts the new to the historic character, the replacement project enriches the historic character of the district;

Intent:

- Honor the art and education that took place during the California College of the Arts Period and removed buildings of the campus through commemoration and the reinterpretation of physical characteristics.
  - Retention and rehabilitation of additional art and artifacts.
  - Integrate murals and artwork on facades facing the open spaces
  - Commemorate the architecture of the period by representing building footprints and salvaged architectural elements in the landscape and signage
  - Commemorate site histories through installations and signage

Applicable Guidelines:

G#	GUIDELINE	COMPLIANCE SUMMARY
2.6.12	Facade art treatments. Art applied to new building facades is encouraged in locations related to California College of the Arts Period art installations fronting open spaces, including but not limited to facing Macky Hall, Macky Lawn, and along the Neighborhood Paseo. Installations that change over time are encouraged. Where possible, involvement from local artists, Oakland Tech students or alumni, and CCA students or alumni is encouraged. Art application shall be on building walls more than 20 feet in length and fronting open spaces that have minimal fenestration in the form of murals, revolving installations with local art groups, or environmental graphics.	
2.7.11	Commemoration of California College of the Arts Period Architecture. It is encouraged to commemorate and record existing structures from the California College of the Arts Period and honor the history of Arts and Crafts on site. New buildings could reference the existence by incorporating pieces of existing structures into the new structure or referencing any removed California College of the Arts buildings by incorporating design elements and materials used in those structures.	
3.2.7	Commemoration of removed Broadway Wall segments. The footprint of any removed portions of the Broadway Wall shall be	

	commemorated. Examples of commemoration methods include in-place markings, changes in material or pattern, or installation of a new feature, such as flush lighting at grade.	
3.3.6	Additional art retention. A minimum of four additional art and artifacts shall be retained in the publicly-accessible open space of the site, in addition to those required in Guideline 3.3.1, Guideline 3.3.5, and Guideline 2.6.12. Examples of art and artifacts may include but are not limited to found sculptures from the California College of the Arts Period, machinery used for art creation, new sculptures or murals (as a feature in the landscape or on adjacent building elevations), landscape installations, and salvaged building elements from California College of the Arts Period buildings.	
3.4.1	Commemoration of California College of the Arts Period buildings. It is encouraged to commemorate California College of the Arts Period buildings that are removed from the site. This can be accomplished by strategies including, but not limited to, demarcating existing building footprints into new landscape features through landscape materials, lighting, or signage.	
3.4.2	Commemoration of site history. The site should include a publicly-accessible indoor or outdoor space to display and exhibit the site's history.	
3.5.8	New art. New artwork is encouraged to be integrated into vegetation along pathways in the publicly-accessible open space similar to how art is displayed in the California College of the Arts Period campus.	
3.5.9	Arts and educational programming within the open space are encouraged, in the keeping with the teaching, making, and learning activities of the California College of the Arts Period.	
3.5.10	Educational signage. Signage highlighting the site's California College of the Arts Period history and significance shall be included throughout the landscape. Locations for signage may include but are not limited to locations where historic buildings stand or stood (such as, Macky Hall, Carriage House, Founders Hall, Noni Eccles Treadwell Ceramic Arts Studio, Martinez Hall, and Barclay Simpson Sculpture Studio).	

**Criteria v:** The replacement project is consistent with the visual cohesiveness of the district. For the purpose of this item, visual cohesiveness is the architectural character, the sum of all visual aspects, features, and materials that defines the district. A new structure contributes to the visual cohesiveness of a district if it relates to the design characteristics of a historic district. New construction may do so by drawing upon some basic building features, such as the way in which a building is located on its site, the manner in which it relates to the street, its basic mass, form, direction or orientation (horizontal vs. vertical), recesses and projections, quality of materials, patterns of openings and level of detailing. When a combination of some of these design variables are arranged in a new building to relate to those seen traditionally in the area, but integral to the design and character of the proposed new construction, visual cohesiveness results

Intent:

- New construction demonstrates spatial relationships as seen in existing buildings, such as: maintaining various finished floor and entry elevations on sloped topography limiting blank facades in keeping with the campus
- Emphasize the prominent location and siting of new buildings in the East Bay hills given their location and siting by incorporating vertical volumes in highly visible locations will accentuate the important setting of the campus.
- Using the sloped topography to frame vistas from the publicly-accessible open space. through planting and circulation routes
- Thoughtful transitions are expressed in new construction through facade rhythm and upper level setbacks:
  - Reducing perceived height near neighboring buildings through upper floor setbacks and trellises
  - Articulated rhythm of ground floor and mid-rise facades relate to rhythm and scale along College Ave and Broadway Terrace
- The site as a green terminus at the intersection of Broadway and College Ave remains and becomes a community asset
  - The Broadway Wall remains the primary edge but an accessible entry and dense planting at the Southwest corner invites access by the community
- Characteristics of the existing campus landscape are retained through:
  - Retaining long standing heritage trees that contribute to the framing of Macky Hall, Macky Lawn, and Macky View Corridor

- Preserve, protect and expand native heritage trees and planting palette present in the California College of the Arts Period landscape
- Retain scale, orientation, views, materials, and programmatic components of the existing California College of the Arts Period Campus
- Providing meandering, informal network of circulation routes through the site similar to the California College of Arts Period campus, with improved pedestrian accessibility, such as:
  - Secondary pedestrian paths provide alternate routes through the site allowing the discovery of existing buildings, vistas, and contributing landscape features similar to the California College of the Arts Period campus
  - A variety of elevations for building entries across the site will be maintained consistent with the various levels of building access in the campus.

Applicable Guidelines:

G#	GUIDELINE	COMPLIANCE SUMMARY
2.5.11	New buildings height differentiation. New buildings are encouraged to have a legible difference in height as viewed from a distance. The average height of roof surfaces on Building A shall differ from the average height of roof surfaces on Building B by a minimum of 10 vertical feet as measured from the northwest corner of Building A at Broadway and Clifton Street —approximately +169 feet above sea level as shown in Figure 2.14.	
2.5.12	<p>Priority height locations. To create a varied roofline to respond to the topography and bulk of new buildings, each Building shall establish legible priority locations, along highly visible edges as represented in Figure 2.10:</p> <ul style="list-style-type: none"> <li>• Building A should include at least one but no more than two priority height locations along Broadway or corners facing the open space, aligned vertically to commercial uses, building entries, or crosswalks</li> <li>• Building B should include at least one but no more than two vertical expressions for height along the southern half of its west edge and aligned vertically to building entries or the highest grade</li> </ul>	



	<p>elevation surrounding the building.</p> <p>Priority height locations shall either exceed the predominant roof height of the building by a minimum of 10 feet or the top or middle levels shall protrude horizontally from adjacent midrise massing levels by a minimum of six feet. Priority height locations shall not exceed 55 feet in width to emphasize a prominent vertical orientation. Refer to Figure 2.15.</p>	
2.5.14	<p>Reduced height at the intersection of Broadway and Clifton Street. To relate to the scale of nearby multi-family residential buildings along Broadway Terrace which are typically three to five stories, new building facades located within 65 feet of the corner of Broadway and Clifton Street shall stepback above 65 feet in height. Stepbacks shall measure a minimum of 15 feet in depth from the property boundary. Refer to Figure 2.10 facade adjacencies.</p>	
2.5.15	<p>Articulated rooflines. All building elevations over 70 feet in length require an articulated roofline to reflect the variety of roofline conditions seen in Rockridge through a minimum of two of the following strategies:</p> <ul style="list-style-type: none"> <li>Varied parapet height with a minimum change of three feet vertically</li> <li>A change in material or color at top levels</li> <li>Massing projections or recess and horizontal elements that project beyond the facade a minimum of three feet at the top of a floor</li> <li>Stepback top levels for a minimum of five feet deep</li> <li>Variation of residential unit form at the topmost occupiable level with distinct dimensions for openings differing from the rest of the mid-rise floors</li> </ul> <p>Contiguous rooflines (15-degree change in roof slope or flat) may not exceed 30 feet in length.</p> <p>Refer to Figure 2.17 for an illustrative example of strategies.</p>	
2.5.16	<p>Subdividing mid-rise volumes. To reduce the perceived scale of new buildings, in keeping with the scale of development along Broadway and Broadway Terrace, mid-rise levels shall be subdivided into smaller legible volumes. New building facades adjacent to streets and open spaces, as shown in Figure 2.10, shall be subdivided, at a minimum, into the following number of volumes based on facade</p>	

	<p>length:</p> <p>&lt;100 feet in length = one volume</p> <p>100 – 250 feet in length = three volumes</p> <p>&gt;250 feet in length = five volumes</p> <p>Volumes may be expressed vertically or horizontally but shall be a minimum of two stories in height and 40 feet in length. A change in plane with a minimum depth of 5 feet shall be required from adjacent volumes. Continuous horizontal volumes shall not exceed 250 feet in length. The east edge of Building B shall be exempt from subdivision of mid-rise volumes. See Figure 2.18 for a subdivision of volumes diagram.</p>	
2.5.17	<p>Clifton Street setback. To relate to the scale of nearby multi-family residential buildings along Broadway Terrace which are typically three to five stories, new buildings along the north edge of Buildings A and B along Clifton Street shall setback an average of 10 feet from the site boundary above 75 feet in height. See Figure 2.19.</p>	
2.5.18	<p>Open space setbacks. To increase solar access within the open space, the south and west building elevations facing open space on Buildings A and B shall setback a minimum of 10 feet in depth from the site boundary above 75 feet in height for 50 percent, cumulative, of the building elevation. See Figure 2.19. Refer to Figure 2.10 for facades south of open space or interior courtyards.</p>	
2.6.5	<p>Referencing historic elevations. The west edge of Building B shall have finished floor elevations at a minimum of three different heights and ranging a minimum of 10 feet, referencing the variation in finished floor elevations of the California College of the Arts Period Buildings.</p>	
2.6.6	<p>Entry along hillside. Building access or unit entries shall be provided to at least two finished floor levels elevations along the north and south sides of Building A, to reflect the hillside topography.</p>	
2.7.3	<p>Vertical volume expression. To accentuate priority height locations or primary building entrances on new buildings, at least two of the following strategies shall be employed:</p> <p>Continuous building elevation pattern from mid-rise to base levels</p> <p>Vertically oriented architectural features including louvers, fins, or material application</p>	

	<p>Aligned, vertically oriented fenestration patterns</p> <p>A larger proportion of openings in the building top than the middle.</p> <p>Refer to Figure 2.23 for fenestration proportion.</p>	
2.7.10	<p>Mid-rise material reference to contextual landmarks. Light-colored materials are preferred within mid-rise levels of new buildings similar to other prominent buildings in the Berkeley Hills, which evolve in their appearance throughout the day and glow in the afternoon sun.</p>	
3.3.7	<p>Carriage Entrance Sign. It is encouraged that the wood sign used to mark the Carriage Entrance to the California College of the Arts and Crafts in the 1950s to 1970s be retained, rehabilitated, and reused within the site.</p>	
3.4.3	<p>Heritage trees. All healthy and mature, non-invasive trees on site that can be feasibly retained shall be included in the planting plan for the site to provide a sense of the long-standing history of the site and contribute to the characteristics of framing Macky Lawn, Macky Hall, and the associated View Corridor. These retained heritage trees are encouraged to remain in their current locations, with exceptions to allow transplantation within the site for accessibility of the site and new building footprints.</p>	
3.4.4	<p>New buildings setback from heritage trees. Any newly constructed building is encouraged to be set back a minimum of 12 feet from the dripline of heritage trees. If a newly constructed building is within 12 feet of a heritage tree’s dripline, an arborist shall provide written approval of strategies to protect tree health during construction.</p>	
3.4.5	<p>Reuse of removed heritage trees. Timber from any heritage or any other large trees that are removed is encouraged to be reused within the site.</p>	
3.4.6	<p>Reuse of removed sequoia trees. It is encouraged to reuse the two Sequoia stumps that were once contributing landscape features to the Early Estate Period) that were removed for poor health in 2019. Reuse of the two stumps is encouraged by but not limited to materials for furnishings or landscape features to reference their history on site through educational signage or interpretive markings.</p>	
3.5.1	<p>Open Space Program Areas. In addition to retaining Macky Lawn and the Macky Hall View Corridor (Section 3.3), the project also requires</p>	

	<p>the following open space program areas which support the characteristics of the California College of the Arts Period:</p> <ul style="list-style-type: none"> <li>• Neighborhood Paseo is a primary pedestrian connection between Clifton Street and Macky Hall and Macky Lawn. Similar to the California College of the Arts Period landscape, the Paseo shall provide a view from Clifton Street to Macky Hall and shall be a minimum of 40 feet wide, see Figure 3.8.</li> <li>• Central Plaza is between primary entrances to Buildings A and B and the east entrance to Macky Hall, California College of the Arts Period plaza east of Macky Hall, see Figure 3.9. It shall be located adjacent to Macky Hall and shall have a minimum size of 5,000 square feet.</li> </ul>	
3.5.2	<p>Nature discovery and play. To provide programming for education, similar to how the site performed during the California College of the Arts Period, a play area shall be provided within the publicly-accessible open space and shall be prohibited within 30 feet of the Carriage House, which historically was not surrounded by activity. The use of natural materials—as described in Guideline 3.6.9—are encouraged to provide sensory learning and education of the local ecology through the integration of play and nature. The play area is encouraged to be greater than 2,000 square feet.</p>	
3.5.5	<p>Secondary pedestrian paths. A network of secondary paths shall provide small scale connections that meander through the landscape—a characteristic of the California College of the Arts Period described in the HRE. Secondary paths shall have a maximum width to 8 feet and are encouraged to connect to secondary entrances of Buildings A and B, the Carriage House, Macky Hall, and through the heritage trees, plantings, and art displays. Refer to Figure 3.11.</p>	
3.5.6	<p>Framed vistas. A minimum of two framed vistas shall be provided in the publicly-accessible open space, creating prominent vistas of Downtown Oakland, Berkeley, College Avenue, and the Bay. Vistas are encouraged to be framed with tree canopies and native planting.</p>	
3.6.1	<p>Priority planting zones. The site will incorporate vegetation throughout. A concentration of greenery (such as in the form of denser planting or large trees) shall be targeted in the following areas as seen in Figure</p>	

	<p>3.12, to respond to context on College Avenue and the visibility of this new open space to the surrounding neighborhood:</p> <ul style="list-style-type: none"> <li>• Open space visible from College Avenue to signal the presence of publicly-accessible open space</li> <li>• The southwest corner of the site visible from Broadway to similarly signal the open space</li> <li>• Tree canopy coverage is encouraged south and west of Macky Lawn to increase shade and wind protection similar to the California College of the Arts Period</li> </ul> <p>Refer to Guidelines 3.1.2 and 3.1.5 for further guidance on planting along the south edge of the site next to Macky Hall and Carriage House.</p>	
3.6.2	<p>Neighborhood Paseo planting. A continuous tree canopy is encouraged from Clifton Street to Macky Hall along the Neighborhood Paseo, integrating any heritage trees similar to the planting in the California College of the Arts Period landscape. Landscaping should maintain clear views from Clifton Street toward Macky Hall.</p>	
3.6.3	<p>Enhanced regional ecological systems. The tree and planting palette of the site should be representative of the regional planting profile in response to the local context. The tree and understory planting plan are encouraged to aid in the expansion of the habitat patch and riparian canopy from Rockridge Branch Creek, currently within the Claremont Country Club.</p>	
3.6.4	<p>Plant species. The planting palette shall include drought-tolerant and native species that speak to the local region's planting profile and is encouraged to relate to the retained planting from the California College of the Arts Period.</p>	
3.6.5	<p>Preferred trellis planting. Planting, particularly vines, is encouraged along areas with trellises and other secondary structures along open space to provide a vegetated transition in scale and privacy to new buildings and ground floor residential units, similar to the character of transitions in Rockridge architecture. Refer to Guideline 3.6.4.</p>	
3.6.6	<p>Limited lawn. The use of lawn as groundcover shall be prohibited in the publicly-accessible open areas of the site, except in Macky Lawn—the primary social commons of the site (see Section 3.3), in</p>	



	<p>keeping with the California College of the Arts Period landscape. Groundcover in other areas should utilize native and drought-tolerant species.</p>	
3.6.7	<p>Preferred open space materials. Materials used in open spaces (hardscaping, furnishings, play features, etc.) should be chosen for their texture, color, aggregate, and finish. Natural, handcrafted materials are encouraged over manufactured or artificial materials, particularly in open spaces adjacent to historic resources. Passersby should be able to perceive the raw material qualities rather than an altered appearance as is consistent with both contextual Arts and Crafts Style Gardens and the California College of the Arts Period landscape.</p>	
3.6.8	<p>Prohibited hardscape materials. While present during the California College of the Arts Period, asphalt is a prohibited material within the Property to reduce urban heat island effect.</p>	
3.6.9	<p>Preferred materials for nature and discovery play. The play area defined in Guideline 3.5.2 shall use natural materials where possible, such as but not limited to wood, bark, rock, rope, and stone.</p>	
3.6.10	<p>Color palette. Similar to the color palette of the California College of the Arts Period landscape materials, natural and earthen tones with key moments within the landscape dedicated to display of arts are encouraged, similar to the color palette of the California College of the Arts Period landscape.</p>	
3.6.11	<p>Material application. In reference to the variety of materials and paving patterns layered into the California College of the Arts Period landscape, materials within the landscape are encouraged to have different material applications where pathways, open space program areas, and other open space elements. Change in material application may be achieved through at least one of the following: material, color, rhythm, or pattern.</p>	
3.6.12	<p>Material reuse. Reuse of elements pre-existing on the site in means that carry forward the history of design, art, and craft education—as seen during the California College of Arts Period—is encouraged. Pre-existing elements include salvaged pieces of California College of the Arts Period buildings, removed trees, and the sequoia tree stumps</p>	

	noted in Section 3.4. Reuse can include but is not limited to landscape furnishing and signage.	
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**17.136.070 C:** Special Regulations for Designated Landmarks

Proposals involving designated landmarks that require Regular design review approval may be granted only upon determination that the proposal conforms to the Regular design review criteria set forth in Section 17.136.050 and to the additional criteria set forth below in Subdivisions 1, 2 and 3 or to one or both of the criteria set forth in Subdivision 4:

**Criteria 1:** That the proposal will not adversely affect the exterior features of the designated landmark nor, when subject to control as specified in the designating ordinance for a publicly-owned landmark, its major interior architectural features;

Intent:

- Retaining and rehabilitation the exterior and interior architectural design of Macky Hall and Carriage House to the Secretary of Interior’s Standards in design, materials, and workmanship
- Retaining and rehabilitating contributing landscape features (Broadway Wall & Stairs, Carnegie Bricks, and Macky Hall View Corridor), such as:
  - Retaining the entire length of Broadway Wall as the western boundary of the site with limited modifications
  - Retaining Broadway Stairs (and additional accessible entrance) as the primary entrance to the site
  - Macky Hall View Corridor to be maintained through planting and programming
  - Carnegie Bricks to be sited in a familiar context to their setting within the campus

Applicable Guidelines:

G#	GUIDELINE	COMPLIANCE SUMMARY
2.3.1	Macky Hall design, materials, and workmanship. During permitted exterior modifications, the design, materials, and workmanship of Macky Hall shall be maintained as recorded in the HRE and the National Register according to Secretary of the Interior’s Standards. Strategies include, but are not limited to: <ul style="list-style-type: none"> <li>• Repairing features and materials that can feasibly be retained (Instead of replacing them)</li> </ul>	

	<ul style="list-style-type: none"> <li>• Using the same or in-kind materials, colors, and textures</li> <li>• Maintaining fenestration patterns and style</li> <li>• Maintaining siding and trim</li> <li>• Continuing the use of the vernacular or associated architectural style of Macky Hall. Refer to Figure 2.5 for aspects of craft.</li> </ul>	
2.3.2	Macky Hall windows. The windows of Macky Hall may be reglazed if an energy analysis of the building shows that alternative measures would be less effective in reducing energy use. If greater energy or sound performance is needed, the addition of a second interior sash may be added if it aligns with the existing frame and glazing while remaining visually secondary to character-defining features.	
2.3.3	Macky Hall exterior paint. Color schemes may be based on historical analysis of the building by a paint conservator. The existing color scheme may be retained without study.	
2.3.4	Carriage House design, materials, workmanship. The following building elements of the Carriage House shall not be altered in the site nor any relocation of the Carriage House: <ul style="list-style-type: none"> <li>• Exterior walls and roof</li> <li>• Facade composition except for new openings per Guideline 2.3.5</li> <li>• Architectural details such as siding, brackets, and trim, as shown in Figure 2.5.</li> </ul>	
2.3.5	Carriage House new openings. New openings shall be permitted if designed consistently with the historic character of the building in size and trim. New openings should not interfere with the building’s ability to convey retained character-defining features as identified in the HRE. New openings shall be prohibited on the primary building facade (facing south as identified in the HRE). New openings may be permitted on the largely blank east, north, or west elevations if required by code or for programmatic need but should not be more prominent in their design than remaining openings. A larger opening shall be permitted along the HRE-identified east facade in keeping with the size and design of the Early Estate Period carriage entrance—approximately eight feet wide by eight feet tall centered on the dormer above, refer to Figure 2.7. New openings shall maintain a relationship between the Carriage House and Macky Hall.	

2.3.6	<p>Carriage House exterior paint. Color schemes shall be based on historical analysis of the building by a paint conservator. The existing color scheme may be retained without study. The paint color of Carriage House should match the same era of color Macky Hall is painted to avoid a juxtaposition of historic colors that never occurred.</p>	
3.2.1	<p>Broadway Wall retention and rehabilitation. The Broadway Wall and Stairs, and their components, with limited exceptions as noted in the following guidelines, shall be retained. All parts of the Broadway Wall and Stairs retained should be rehabilitated in compliance with the Secretary of the Interior Standards. The original design of the remaining bays, pilasters, Broadway Stairs, and Carriage Entrance shall be maintained where not in conflict with the below guidelines nor modifications to meet the minimum code compliance and repair requirements. See Figure 3.5 for all components of the Broadway Wall.</p>	
3.2.2	<p>Broadway Wall openings. The current openings along the Broadway Wall—those of the Broadway Stairs and the Carriage Entrance—must remain as means of access into the site. See Guideline 3.2.4 for further guidance on if the location of the Carriage Entrance is moved.</p>	
3.2.3	<p>Carriage Entrance. The Carriage Entrance character defining features shall not be altered at the time the Carriage Entrance is refurbished or relocated per Guideline 3.2.4. Character defining features of the entrance include the concrete pilasters, CCAC plaques, and wrought iron gates, as illustrated in Figure 3.6. The metal posts and adjoining metal arch are not original to the design of the entrance and may be removed or replaced. If replacing the metal posts and adjoining metal arch, only the wood sign used during the 1950s through 1970s is permitted. The existing width of the Carriage Entrance opening shall be maintained.</p>	
3.2.4	<p>Carriage Entrance location. The Carriage Entrance location may be moved within the Broadway Wall to align with new Building A access and ground floor commercial uses along Broadway. If moved, one bay shall remain solid on both sides of the Carriage Entrance. If the Carriage Entrance is relocated along Broadway, it should maintain a minimum distance of three bays from the Broadway Stairs and two bays from the northernmost end of the Broadway Wall, and the Carriage Entrance must be centered between pilasters with equal</p>	



	<p>width bays on both sides of the entrance (north and south).</p> <p>The previous location of the Carriage Entrance should be replaced with bays and pilasters to match as close as possible the remaining pilaster rhythm. This previous original location is to be memorialized by introducing a slight variation in detailing, material, or texture of the Broadway Wall at the infill zone.</p>	
3.2.5	<p>Open space east of the Carriage Entrance. If the Carriage Entrance is moved per Guideline 3.2.4, space located directly east of the Carriage Entrance for a minimum of six feet should remain unplanted and unobstructed to experience the historic nature of the opening and allow for unobstructed entrance into ground floor programming of adjacent new buildings</p>	
3.2.6	<p>New openings in the Broadway Wall. A maximum of one new opening may be created in the Broadway Wall to allow for access to Building A and a maximum of one new opening in the Broadway Wall may be created to allow for access to the publicly-accessible open space in accordance with the American with Disabilities Act (ADA).</p> <p>New openings shall be no more than one foot wider than required by codes, laws, and regulations, and must be visibly narrower than the Carriage Entrance.</p> <p>If Carriage Entrance moves, per Guideline 3.2.4, the new location to hold the relocated Carriage Entrance shall be considered a new opening.</p>	
3.2.9	<p>Broadway Wall bay modifications. The Broadway Wall north of the Broadway Stairs may allow for a maximum of 25 percent of its length to incorporate either seating elements on either side of the wall and /or to lower the bay height for visibility and safety of pedestrians on the east side of the wall (such as instances where ADA access is being provided on the east side of the wall and the wall exceeds eye level). Seat wall interventions may be combined with other Broadway Wall interventions and shall maintain complementary, nonobtrusive materials. Refer to Guideline 3.2.11 for appropriate materials.</p>	
3.2.12	<p>Broadway Wall visibility and greening limits. Planting is permissible on the east edge of the Broadway Wall in the form of planters, vines, or as ground cover. Refer Guideline 3.6.3 for suitable planting. Overhanging vines from the eastern side to the western side are permissible,</p>	

	<p>however, 50 percent of the overall length of the western edge of the Broadway Wall must be clear of any planting. Planting shall not be allowed to block any access paths or entrances, including the Carriage Entrance, Broadway Stairs, or any additional openings.</p>	
3.2.13	<p>Broadway Wall interface. Planting and circulation are permitted adjacent to the east side of the Broadway Wall. Due to the grade change from the open spaces to the sidewalk on Broadway, landscape features of grading and guardrails should be considered to provide safe pedestrian experiences within the publicly-accessible open spaces. If included, guardrails shall not be an opaque plaque that appears to extend the height of the Broadway Wall or hover over it.</p>	
3.3.5	<p>Retention of Carnegie Bricks. Carnegie Bricks are encouraged to be retained as a contributing landscape feature to the Oakland Landmark. If retained, Carnegie Bricks may be reused in other locations within the site, though they are encouraged to be reused in a similar setting as originally used during the Early Estate Period.</p>	

**Criteria 2:** That the proposal will not adversely affect the special character, interest, or value of the landmark and its site, as viewed both in themselves and in their setting;

Intent:

- Retaining and rehabilitation the exterior and interior architectural design of Macky Hall and Carriage House to the Secretary of Interior’s Standards:
  - Macky Hall remains the primary historic resource on site through the siting of Carriage House and new construction response to Macky Hall
  - Carriage House maintains a subsidiary relationship with Macky Hall through its spatial relationship to and similar finished floor elevation of or below Macky Hall
- New construction provides height reductions, setbacks, and reference landmark building width to transition to Macky Hall and Carriage House, such as:
  - Height reductions surrounding Macky Hall
  - New construction setback from Macky Hall and Carriage House similar to their relationship to existing buildings
  - Massing adjacent to Macky Hall reference its width and frame the landmark building as the primary building on site
  - Setback and rhythm requirements for the new building adjacent to the Broadway wall.
- Retaining the entire length of Broadway Wall as the western boundary of the site with limited modifications and new construction setback from the wall

Applicable Guidelines:

G#	GUIDELINE	COMPLIANCE SUMMARY
2.1.1	Macky Hall location. To maintain the historic significance and integrity of Macky Hall’s location, Macky Hall is to be maintained in its current location and on its existing footprint, as recorded in the HRE and as listed on the National Register.	
2.1.2	Carriage House relocation. Carriage House shall be permitted to be relocated so long as the move does not interfere with its status as a contributor to the National Register site per Criteria Consideration B by maintaining “compatibility in orientation, setting, and general environment” with the Early Estate Period and California College of the	

	<p>Arts Period. Required conditions of relocation include each of the following categories, focused on maintaining the Carriage House’s subsidiary relationship to Macky Hall:</p> <ul style="list-style-type: none"> <li>• Orientation: If relocated, the Carriage House should be oriented in either its Early Estate Period or California College of the Arts Period alignment, with the primary entrance facing south or west.</li> <li>• Location: Carriage House shall maintain horizontal separation to Macky Hall of no less than 40 feet and no greater than 120 feet. Carriage House shall not be permitted within the Macky Hall View Corridor (see Section 2.3).</li> <li>• Elevation: If Carriage House is located further east from its HRE-identified location—approximately aligned with the primary elevation of Macky Hall—the ground floor of Carriage House shall be lower than the finished floor elevation of the main level of Macky Hall. If located further west from the HRE-identified location, the finished floor elevation of the ground floor of Carriage House shall be lower than the finished floor elevation of the basement level of Macky Hall.</li> <li>• Setting: If relocated, Carriage House shall avoid referencing other historic conditions and must avoid creating a false historic setting reference. If relocated where a California College of the Arts Period building has been removed, the site design should emphasize a relationship to the historic conditions of the Carriage House rather than the historic building footprint of the removed structure. As an example, if relocated to the former footprint of Founders Hall, reference to the Founders Hall footprint should be avoided to limit confusion. Additionally, there should be a clear visual separation between the Carriage House and new buildings on Building B, which may be created through landscape design strategies such as a planted buffer or change in topography. If the Carriage House is located further west than Macky Hall, the Carriage House should be screened from prominent visibility from Broadway; this can be accomplished with light vegetation. For landscape and planting guidelines adjacent to Carriage House, refer to Section 3.4.</li> </ul>	
2.2.1	Macky Hall primary access. The west porch at Macky Hall has been the historical primary entrance. As such, the entrance at the west elevation shall remain operable, even if it is not the primary entrance,	

	<p>with interior access to the main ground floor space. It shall not be permanently closed or partitioned off on the interior. The porch on the east side—which has been altered in the past and is now the accessible entry— may only be changed to accommodate building occupancy or code requirements. Refer to Figure 2.4 for the primary access to Macky Hall.</p>	
2.5.8	<p>New buildings setbacks from Macky Hall. No new buildings shall be permitted within the following dimensions from the exterior building footprint of Macky Hall, as shown in Figure 2.12:</p> <ul style="list-style-type: none"> <li>• 80 feet minimum to the north</li> <li>• 35 feet minimum and an average of 40 feet to the east</li> <li>• 25 feet minimum to the south</li> </ul> <p>New buildings are prohibited to the west of Macky Hall to maintain the existing Macky Hall View Corridor, as described in Guideline 2.3.1. The above dimensions are consistent with Macky Hall’s relationship to the nearest buildings of the California College of the Arts Period.</p>	
2.5.9	<p>New buildings setbacks from Carriage House. No new buildings shall be permitted within the following dimensions from the exterior building footprint of Carriage House.</p> <p>25 feet minimum to the west  25 feet minimum to the north  40 feet minimum to the east  100 feet minimum to the south</p> <p>The above dimensions correspond to the location of Carriage House at the time of the HRE and shall translate to the respective sides of the building if relocated and reoriented (see Guideline 2.1.2). The dimensions listed are consistent with the relationship between Carriage House and the nearest buildings of the California College of the Arts Period, as shown in Figure 2.12.</p>	
2.5.10	<p>Broadway Wall new buildings setback. New buildings shall be setback a minimum of three horizontal feet from the east edge of the Broadway Wall to retain the wall’s distinction as a unique site feature, not an architectural element integrated into a building. Building within five feet of the wall is encouraged to continue the strong streetwall present on College Avenue. However, setbacks at commercial uses may extend up to 30 feet from the east edge of the Broadway Wall at</p>	



	commercial frontage to enable activity on both sides of the wall as it is experienced today.	
2.5.13	<p>Reduced height requirements surrounding Macky Hall. To reference the height of the buildings from the Early Estate Period and California College of the Arts Period, any component of new buildings located within the Macky Hall height reduction zone (as defined below) shall be limited to four stories or 45 vertical feet, whichever is less, measured from the finished floor elevation (FFE) of the main level to Macky Hall—approximately +207 feet above sea level—to top of roof. The Macky Hall height reduction zone is defined by dimensions from the exterior building footprint of Macky Hall—and reflected in Figure 2.16:</p> <ul style="list-style-type: none"> <li>• 110 feet minimum to the north (measuring approximately to the facade of Carriage House)</li> <li>• 20 feet minimum to the east (measuring approximately to the facade of Noni Eccles Treadwell building)</li> <li>• Extending to the south site boundary</li> <li>• Aligned to the west (primary) facade of Macky Hall</li> </ul>	
2.5.20	<p>Framing Macky Hall. The southern half of Building B should frame Macky Hall through its massing. A minimum of three changes in plane of no less than the comparable width of Macky Hall, approximately 60 feet, shall be required. Framing may include but is not limited to the following strategies: projection in massing within the Building B boundary and /or stepback in massing. Refer to Guideline 2.5.8 for Macky Hall setbacks and Guideline 2.5.13 for Macky Hall height reduction zone.</p>	
2.6.9	<p>Building interface at Broadway Wall. Base levels and architectural elements such as trellises along the west edge of Building A located within 10 feet of the Broadway Wall are encouraged to reference pilaster rhythm of the Broadway Wall through strategies including, but not limited to aligning facade articulation or fenestration pattern to the pilaster rhythm of the Broadway Wall, or similar spacing. If located beyond 10 feet from the Broadway Wall, the base shall not be required to align with the Broadway Wall pilasters, however, should be visually subsidiary to the Broadway Wall.</p>	

3.1.1	<p>Primary facade of Macky Hall. Open space features should support the visual emphasis of the western facade of Macky Hall as its primary facade and entrance, while the east facade remains as its secondary entrance— in keeping with the setting of the building during the Early Estate Period and the California College of the Arts Period. The north and south facades should remain tertiary during redevelopment. Open space features to emphasize the western and eastern facades include but are not limited to framing with plantings and primary pedestrian circulation routes (defined in Section 3.5) leading to Macky Hall’s primary and secondary entrances, as seen in Figure 3.2.</p>	
3.1.2	<p>Planting north and south of Macky Hall. During the California College of the Arts Period, Macky Hall was experienced more intimately from the north and shielded from the south with Founders Hall, as seen in Figure 3.3. In keeping with this existing condition, the close-range view and experience of Macky Hall’s north facade shall be maintained and framed through planting and retention of heritage trees (defined in Section 3.4). The open space directly south of Macky Hall must include plantings to shield this Landmark Building in a similar manner.</p>	
3.1.3	<p>Visual connection between Macky Hall and Carriage House. Macky Hall and Carriage House shall maintain a visual relationship that is stronger than either building has with any other buildings in the site, while Carriage House remains secondary in relation to Macky Hall, similar to their relationship in the Early Estate Period and California College of the Arts Period. This can be achieved through siting of Carriage House (see Section 2.1 in Chapter 2: Buildings Design Guidelines), layering and / or framing connections with plantings, and grade relationship between the two buildings (defined in Guideline 3.1.6).</p>	
3.1.4	<p>Grade relationship between Macky Hall and Carriage House. Macky Hall’s finished floor elevation shall be maintained and remain at a higher topographically position in relation to both Macky Lawn and Carriage House to suggest the building’s historical prominence as evident in the Early Estate Period and California College of the Arts Period. Minimal changes are permitted in the surrounding grading except as required for emergency vehicles and ADA access.</p>	
3.1.5	<p>Carriage House planting. Carriage House shall maintain its setting as</p>	

	<p>being embedded in the landscape and plantings as it was in the California College of the Arts Period and the Early Estate Period, as seen in Figure 3.4. This can be achieved through but not limited to primary and secondary pathways (see Guideline 3.1.6) and the following planting strategies:</p> <ul style="list-style-type: none"> <li>• Carriage House must be surrounded by canopy and understory planting. If there are new buildings or landscaped elements in close proximity to Carriage House, planting should be used to visibly separate the two.</li> <li>• The proposed and existing trees surrounding Carriage House should prioritize layering vegetation (1) directly between Carriage House and Macky Lawn / Macky Hall and (2) to minimize prominent views to and from Carriage House from Broadway and the surrounding Oakland area.</li> </ul>	
3.1.6	<p>Carriage House circulation. Secondary pedestrian paths (as defined in Section 3.5) should be provided to Macky Lawn and to Macky Hall from Carriage House, similar to paths during the California College of the Arts Period. Refer to Figure 3.4 for existing landscape character surrounding Carriage House.</p>	
3.2.10	<p>Visual prominence. Design of new openings or seating elements in the Broadway Wall should be visually secondary to the Broadway Wall itself.</p>	
3.3.2	<p>Macky Hall View Corridor. The View Corridor—as described in the HRE as a 80-foot-wide corridor centered on Macky Hall’s primary western entrance and extending to Broadway— contributes to Macky Hall as the primary structure on site and the Broadway Stairs as the primary pedestrian entrance on site—shall be retained during the redevelopment of the site. The View Corridor may be further accentuated with plantings to frame the view.</p>	
3.3.3	<p>Macky Hall approach. Open space design between the Broadway Stairs, Macky Lawn, and Macky Hall, should emphasize the main entry and porch of Macky Hall and the main entrance to the site at the Broadway Stairs—as evident in the Early Estate Period and the California College of the Arts Period. No new structures or buildings shall impede physical or visual connection from the Broadway Stairs to Macky Hall.</p>	

**Criteria 3:** That the proposal conforms with the Design Guidelines for Landmarks and Preservation Districts as adopted by the City Planning Commission and, as applicable for certain federally related projects, with the Secretary of the Interior's Standards for the Treatment of Historic Properties;

Intent:

- Retaining and rehabilitation the interior architectural design of Macky Hall and Carriage House to the Secretary of Interior’s Standards
- Commemorate site history and any alterations made to Broadway Wall & Stairs

Applicable Guidelines:

G#	GUIDELINE	COMPLIANCE SUMMARY
2.1.3	Carriage House structural improvements for relocation. If relocating, structural upgrades shall be allowed to ensure stability before, during, and after the relocation process. The exterior appearance may not be altered in any structural improvements, refer to Guideline 2.3.4.	
2.2.3	Carriage House code modifications. Modifications for ADA access to Carriage House and its second level shall be permitted, as the current stairway is not original to the structure and does not contribute to its significance. Where exterior circulation elements such as stairs, ramps, or elevators are added, they should be designed simply and should generally be protected from views such as seen from Macky Lawn and the primary entrance to Macky Hall. Modification to add an accessible restroom to the first level shall be permitted. If an exterior circulation addition has an elevator or other visually significant element, that addition shall not be conspicuous from Macky Hall and the Macky Lawn and should not require alterations to the exterior design of the Carriage House, see Guideline 2.3.4.	
2.3.7	Carriage House interior partitions. Removal of non-structural interior partitions, which were not original to the building, is encouraged to maintain a large open space floor plan for both floors. Additionally, openings in the floor of the upper level of the building shall be permitted up to one-third of the floor area for internal stairs or double-height space. Unless it is deemed to conform with the	

	Secretary of the Interior’s Standards for Rehabilitation or based on documentation of conditions during the period of significance, the interior shall not be subdivided into spaces smaller than the existing ones nor shall the second floor be removed.	
3.2.7	Commemoration of removed Broadway Wall segments. The footprint of any removed portions of the Broadway Wall shall be commemorated. Examples of commemoration methods include in-place markings, changes in material or pattern, or installation of a new feature, such as flush lighting at grade.	
3.2.8	Broadway Wall pilaster retention. The original spacing and rhythm of the pilasters are to be retained. If a pilaster must be removed to achieve a permitted intervention to the Broadway Wall and its elements, its location must be commemorated in conjunction with Guideline 3.2.7.	
3.2.11	Broadway Wall intervention materials. The material(s) used in interventions or modifications to the Broadway Wall and Stairs should be cohesive or complementary. Concrete is preferred, but earthen or raw materials, such as Corten or wood, are also permitted.	
3.4.2	Commemoration of site history. The site should include a publicly-accessible indoor or outdoor space to display and exhibit the site’s history.	



*Land acknowledgement:*

5212 Broadway is located on the territory of Xučyun, Huichin, (Oakland) —the homeland of the Ohlone people. Development activity at 5212 Broadway must acknowledge the discrimination and violence that has been and is presently enforced upon Indigenous peoples, including forced dispossession and harm to their communities and culture. Indigenous settlements of the Huichin and Jalquin tribes of the Ohlone people predated any arrival of Spanish settlers by more than one thousand years in the City of Oakland and have made innumerable contributions to Oakland and the greater Bay Area. The Ohlone peoples lived along the banks of the Temescal Creek and the neighborhood of Rockridge may have been named for the outcropping of rock at the northern end of the long shutter ridge formed by the Hayward Fault. 5212 Broadway is the ancestral and unceded territories of the Chochenyo-speaking Ohlone people who have continuously lived upon this land since time immemorial.



52  
12  
BROADWAY

CALIFORNIA COLLEGE OF THE ARTS  
OAKLAND CAMPUS SITE  
REDEVELOPMENT PLAN

